

Kosciusko County, IN
ESTABLISHED

Water Sports

North Webster
RETAILER

OFFERED IN 6 TRACTS

**Business
Inventory
Store
Office
Warehouse**

AUCTION

75+ acres

44± acres Contiguous with the Business Building
31± acres Potential Development, 2 Miles South of Business

TUESDAY, SEPTEMBER 5 AT 6:00PM

at North Webster Community Center Community Hall • Online Bidding Available

INFORMATION

Booklet

One of a kind opportunity!



TIMED ONLINE ONLY

VIRTUAL

LIVE WITH ONLINE

Owner will entertain non-contingent offers on Tracts 2-6 or Tracts 4-6 by Friday, August 4. Contact Auction Company.

800.451.2709 • SchraderAuction.com

Disclaimer

All information contained is believed to be accurate and from accurate resources. However, buyers are encouraged to do their own due diligence. Schrader Auction Company assumes no liability for the information provided.



950 N. Liberty Dr., Columbia City, IN 46725

800.451.2709 | 260.244.7606

www.schraderauction.com

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BOOKLET INDEX



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FSA & CRP Information

County Information

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Blueprints

Personal Property Included with Tract 4

Preliminary Title

Property Photos





Auction Terms and Conditions:

PROCEDURE: The property will be offered in 6 individual tracts, any combination of tracts (subject to “swing tract” limitations) and as a total 75± acre unit. There will be open bidding on all tracts and combinations during the auction as determined by the Auctioneer. The auction will be offered in individual tracts, combinations of tracts, and as a whole.

BUYER’S PREMIUM: A 5% Buyer’s Premium will be added to the final bid price and included in the contract purchase price.

DOWN PAYMENT: 10% down payment on the day of auction for individual tracts or combinations of tracts. The down payment may be made in the form of cashier’s check, personal check, or corporate check. **YOUR BIDDING IS NOT CONDITIONAL UPON FINANCING**, so be sure you have arranged financing, if needed, and are capable of paying cash at closing.

ACCEPTANCE OF BID PRICES: All successful bidders will be required to enter into Purchase Agreements at the auction site immediately following the close of the auction. All final bid prices are subject to the Sellers’ acceptance or rejection.

EVIDENCE OF TITLE: Seller shall provide an owner’s title insurance policy in the amount of the purchase price.

DEED: Seller shall provide Warranty Deed(s).

CLOSING: The targeted closing date will be approximately 30 days after the auction.

POSSESSION: Possession is at closing, subject to tenants rights to harvest growing crop on Tract 1.

REAL ESTATE TAXES: Real estate taxes will be prorated to the date of closing.

PROPERTY INSPECTION: Each potential Bidder is responsible for conducting, at their own risk, their own independent inspections, investigations, inquiries and due diligence concerning the property. Inspection dates have been scheduled and will be staffed with auction personnel. Further, Seller disclaims any and all responsibility for Bidder’s safety during any physical inspection of the property. No party shall be deemed an invitee of the property by virtue of the offering of the property for sale.

ACREAGE: All tract acreages, dimensions, and proposed boundaries are approximate and have been estimated based on current legal descriptions and/or aerial photos.

SURVEY: The Seller shall provide a new survey where there is no existing legal description or where new boundaries are created by the tract divisions in this auction. Any need for a new survey shall be determined solely by the Seller. Seller and successful bidder shall each pay half (50:50) of the cost of the survey. The type of survey performed shall be at the Seller’s option and sufficient for providing title insurance. Combination purchases will receive a perimeter survey only.

AGENCY: Schrader Real Estate & Auction Company, Inc. and its representatives are exclusive agents of the Seller.

DISCLAIMER AND ABSENCE OF WARRANTIES: All information contained in this brochure and all related materials are subject to the terms and conditions outlined in the Purchase Agreement. The property is being sold on an “AS IS, WHERE IS” basis, and no warranty or representation, either expressed or implied, concerning the property is made by the Seller or the Auction Company. All sketches and dimensions in the brochure are approximate. Each potential bidder is responsible for conducting his or her own independent inspections, investigations, inquiries, and due diligence concerning the property. The information contained in this brochure is subject to verification by all parties relying on it. No liability for its accuracy, errors, or omissions is assumed by the Seller or the Auction Company. Conduct of the auction and increments of bidding are at the direction and discretion of the Auctioneer. The Seller and Selling Agents reserve the right to preclude any person from bidding if there is any question as to the person’s credentials, fitness, etc. All decisions of the Auctioneer are final.

ANY ANNOUNCEMENTS MADE THE DAY OF THE SALE TAKE PRECEDENCE OVER PRINTED MATERIAL OR ANY OTHER ORAL STATEMENTS MADE.

800.451.2709
SchraderAuction.com



BIDDER PRE-REGISTRATION FORM

TUESDAY, SEPTEMBER 5, 2023

BUSINESS, INVENTORY AND 75± ACRES – KOSCIUSKO COUNTY, INDIANA

For pre-registration, this form must be received at Schrader Real Estate and Auction Company, Inc.,
P.O. Box 508, Columbia City, IN, 46725,

Email to auctions@schraderauction.com or fax to 260-244-4431, no later than Tuesday, August 29, 2023.
Otherwise, registration available onsite prior to the auction.

BIDDER INFORMATION

(FOR OFFICE USE ONLY)

Name _____

Bidder # _____

Address _____

City/State/Zip _____

Telephone: (Res) _____ (Office) _____

My Interest is in Tract or Tracts # _____

BANKING INFORMATION

Check to be drawn on: (Bank Name) _____

City, State, Zip: _____

Contact: _____ Phone No: _____

HOW DID YOU HEAR ABOUT THIS AUCTION?

Brochure Newspaper Signs Internet Radio TV Friend

Other _____

WOULD YOU LIKE TO BE NOTIFIED OF FUTURE AUCTIONS?

Regular Mail E-Mail E-Mail address: _____

Tillable Pasture Ranch Timber Recreational Building Sites

What states are you interested in? _____

Note: If you will be bidding for a partnership, corporation or other entity, you must bring documentation with you to the auction which authorizes you to bid and sign a Purchase Agreement on behalf of that entity.

I hereby agree to comply with terms of this sale including, but not limited to, paying all applicable buyer's premiums, and signing and performing in accordance with the contract if I am the successful bidder. Schrader Real Estate and Auction Company, Inc. represents the Seller in this transaction.

Signature: _____ Date: _____

Online Auction Bidder Registration
Business, Inventory and 75± Acres • Kosciusko County, Indiana
Tuesday, September 5, 2023

This registration form is for the auction listed above only. The person signing this form is personally responsible for any bids placed on the auction site, whether bidding on behalf of their personal account or on behalf of a corporation or other third party. If you are bidding on behalf of a third party, you are responsible for obtaining the necessary documentation authorizing you to bid on behalf of the third party. Schrader Real Estate and Auction Co., Inc. will look to the herein registered bidder for performance on any bid placed on this auction if you are the successful high bidder.

As the registered bidder, I hereby agree to the following statements:

This form and deposit are only required if you cannot attend the auction and wish to bid remotely through our online bidding system.

1. My name and physical address is as follows:

My phone number is: _____

2. I have received the Real Estate Bidder's Package for the auction being held on Tuesday, September 5, 2023 at 6:00 PM. (EST)
3. I have read the information contained in the Real Estate Bidder's Package as mailed to me or by reading the documents on the website (www.schraderauction.com) and understand what I have read.
4. I hereby agree to comply with all terms of this sale, including paying all applicable buyer's premiums, and signing and performing in accordance with the Real Estate Purchase Agreement if I am the successful bidder.
5. I understand that Schrader Real Estate and Auction Co., Inc. represent the Seller in this transaction.
6. I am placing a deposit with Schrader Real Estate and Auction Co., Inc. Escrow in the amount of \$_____. I understand that the maximum bid or combination of bids I place may not exceed an amount equal to ten times the amount of my deposit. My deposit is being conveyed herewith in the form of a cashier's check payable to Schrader Real Estate and Auction, Co., Inc. Escrow or via wire transfer to the escrow account of Schrader Real Estate and Auction, Co., Inc. per the instructions below. I understand that my deposit money will be returned in full via wire transfer on the next business day if I am not the successful high bidder on any tract or combination of tracts.

Schrader Real Estate & Auction Company, Inc.
950 North Liberty Drive / P.O. Box 508, Columbia City, IN 46725
Phone 260-244-7606; Fax 260-244-4431; email: auctions@schraderauction.com

For wire instructions please call 1-800-451-2709.

7. My bank routing number is _____ and bank account number is _____.
(This for return of your deposit money). My bank name, address and phone number is:

8. **TECHNOLOGY DISCLAIMER:** Schrader Real Estate and Auction Co., Inc., its affiliates, partners and vendors, make no warranty or guarantee that the online bidding system will function as designed on the day of sale. Technical problems can and sometimes do occur. If a technical problem occurs and you are not able to place your bid during the live auction, Schrader Real Estate and Auction Co., Inc., its affiliates, partners and vendors will not be held liable or responsible for any claim of loss, whether actual or potential, as a result of the technical failure. I acknowledge that I am accepting this offer to place bids during a live outcry auction over the Internet *in lieu of actually attending the auction* as a personal convenience to me.

9. This document and your deposit money must be received in the office of Schrader Real Estate & Auction Co., Inc. by **4:00 PM, Tuesday, August 29, 2023**. Send your deposit and return this form via fax or email to: **260-244-4431 or auctions@schraderauction.com**.

I understand and agree to the above statements.

Registered Bidder's signature

Date

Printed Name

This document must be completed in full.

Upon receipt of this completed form and your deposit money, you will be sent a bidder number and password via e-mail. Please confirm your e-mail address below:

E-mail address of registered bidder: _____

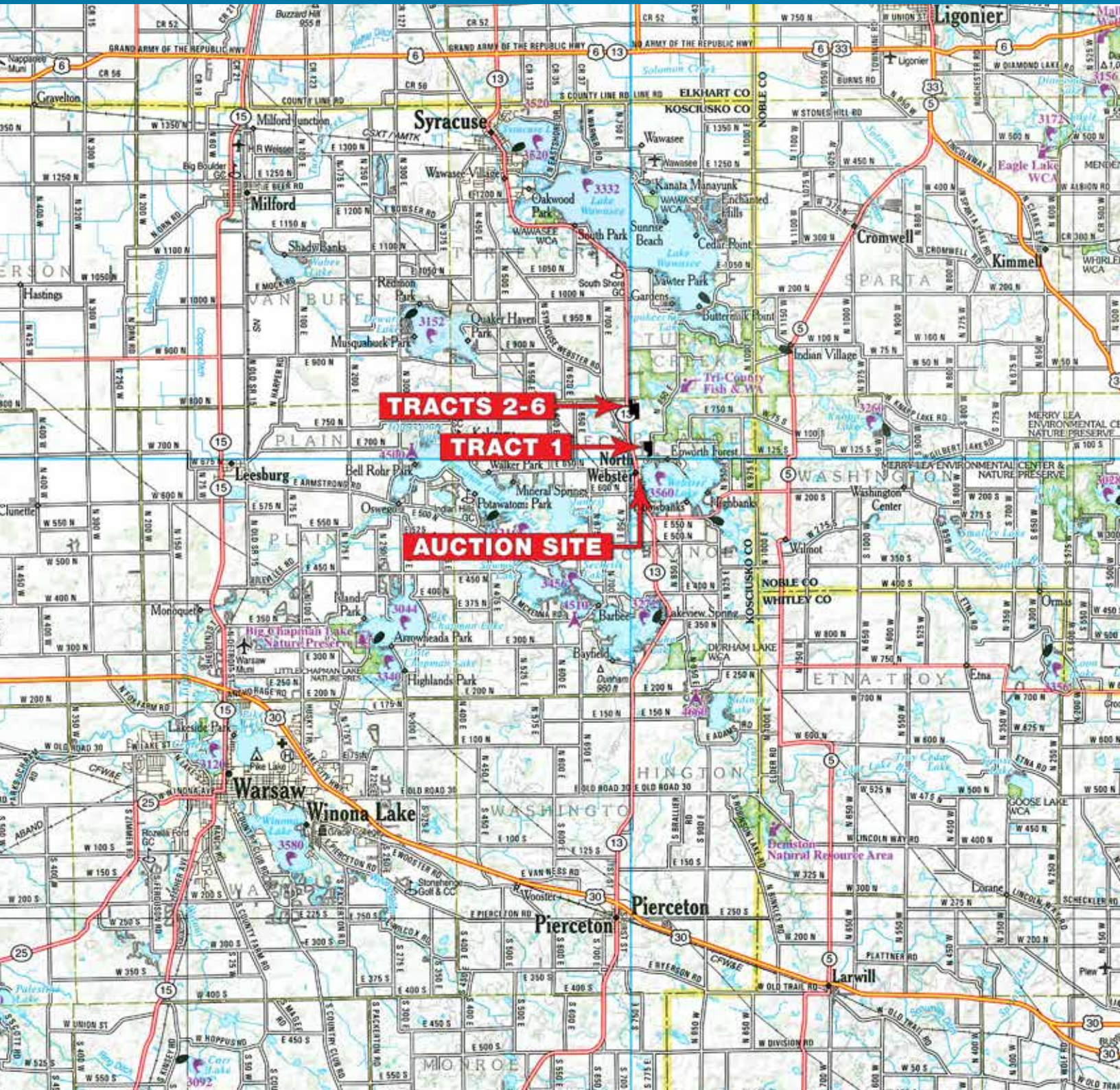
Thank you for your cooperation. We hope your online bidding experience is satisfying and convenient. If you have any comments or suggestions, please send them to:
kevin@schraderauction.com or call Kevin Jordan at 260-244-7606.



Location Map



LOCATION MAP



Property Locations:

TRACT 1: From Downtown North Webster, IN, travel north on SR-13 0.5 miles to Epworth Forest Road. Turn east on Epworth and travel 1/4 mile to the property on the north side of the road.

TRACTS 2-6: From Downtown North Webster, IN, travel north on SR-13 1.5 miles to Bart's Watersports on the east side of the road 7581 E 800 N, NORTH WEBSTER, IN 46555

Auction Location:

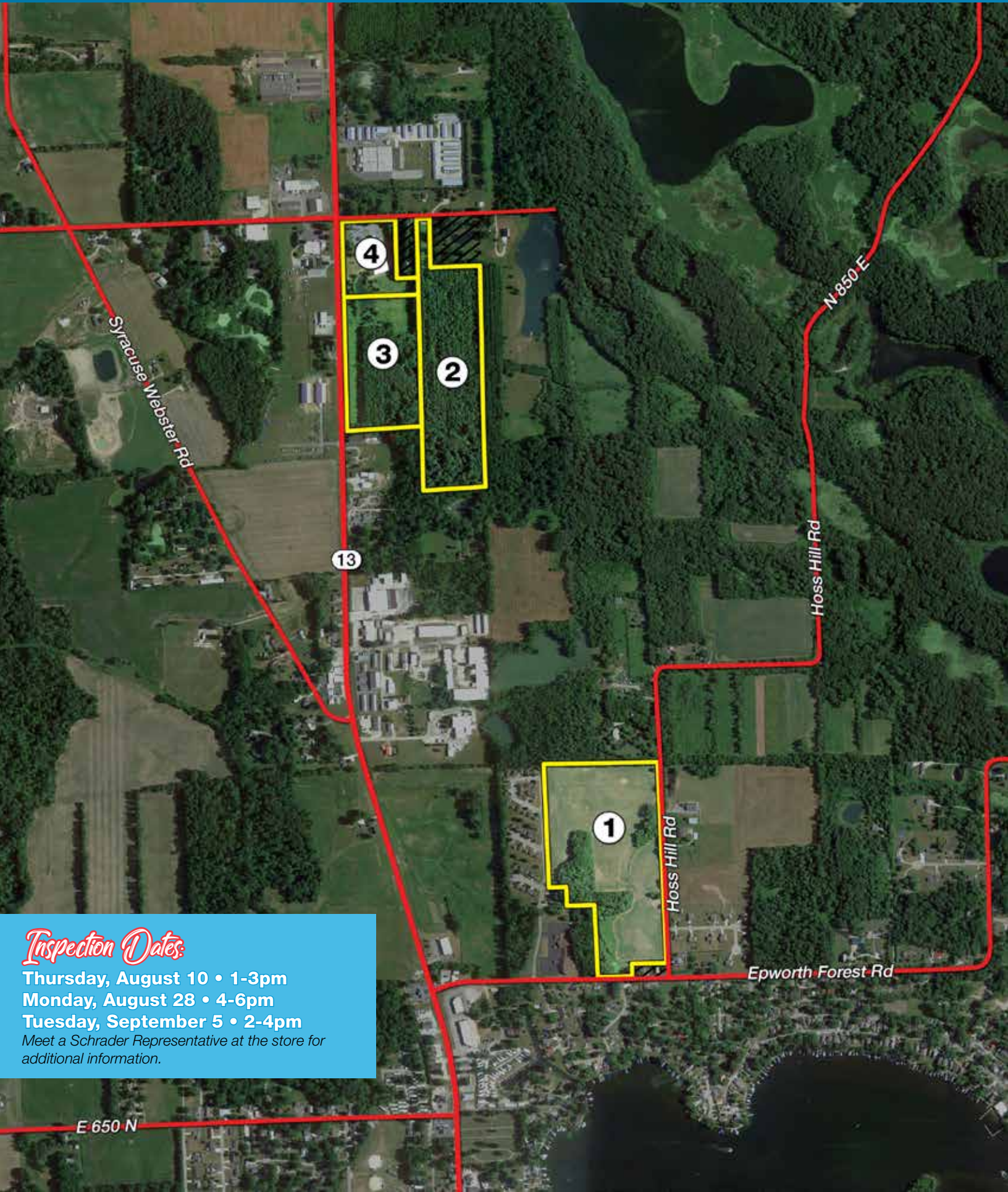
North Webster Community Center Community Hall, 301 N Main St, North Webster, IN 46555.
Located downtown North Webster on the east side of Main Street near the intersection with First Street. Just 1.5 miles south of Bart's Watersports. The entrance is on the east side of the building with parking off of First Street.



Tract Maps



TRACT MAP



Inspection Dates:

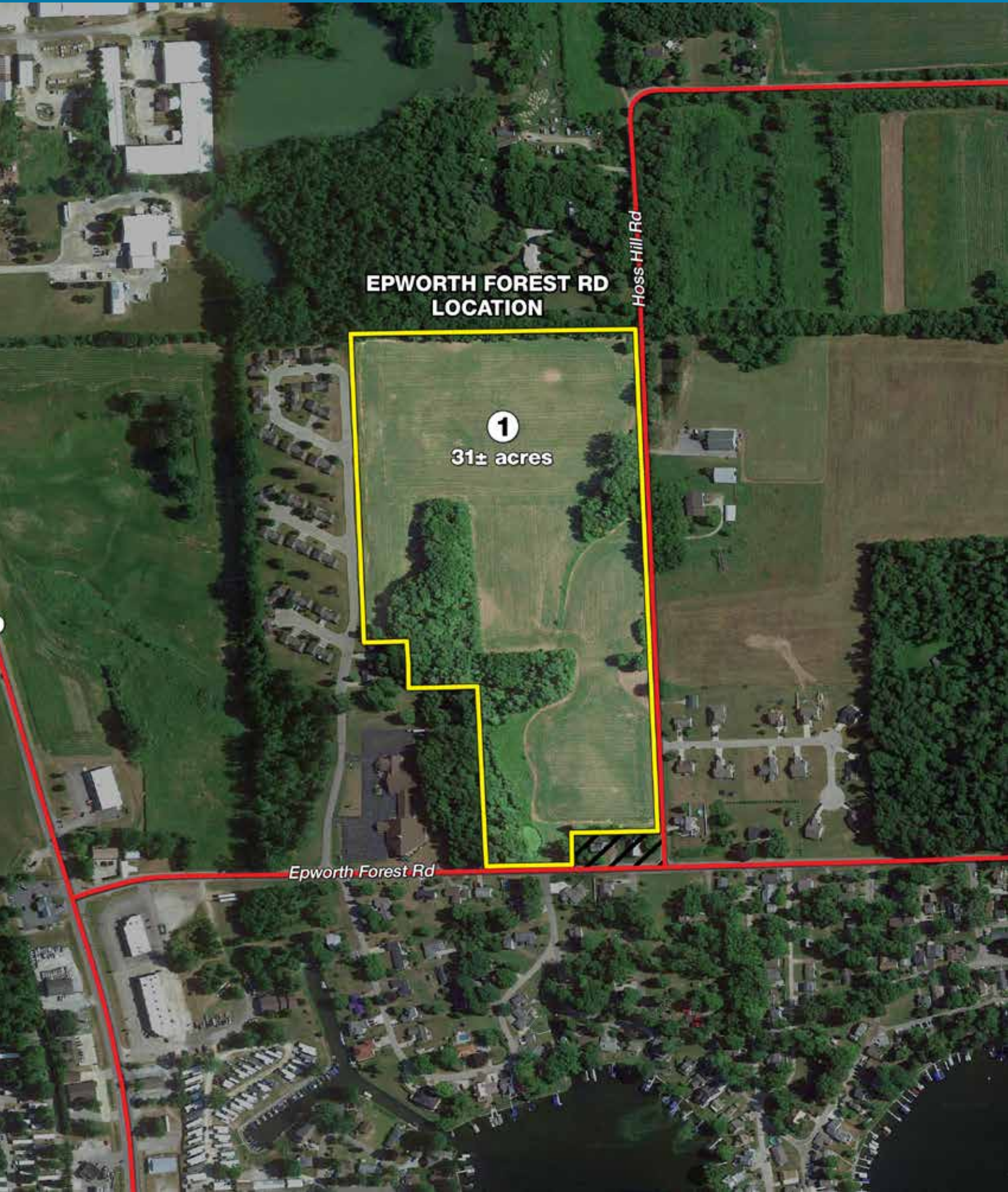
Thursday, August 10 • 1-3pm

Monday, August 28 • 4-6pm

Tuesday, September 5 • 2-4pm

Meet a Schrader Representative at the store for additional information.

TRACT MAP



EPWORTH FOREST RD
LOCATION

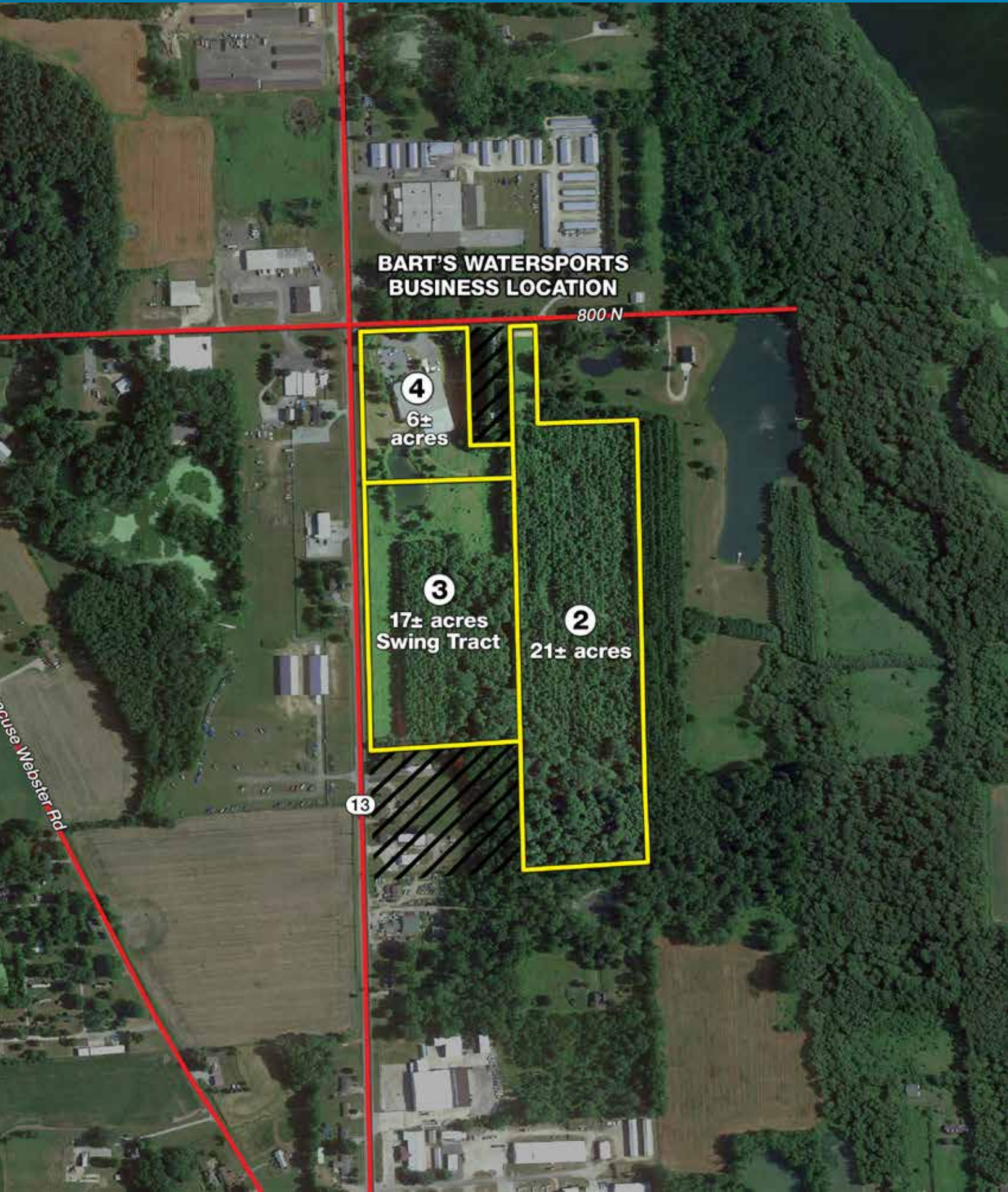
1

31± acres

Hoss Hill Rd

Epworth Forest Rd

TRACT MAP



**BART'S WATERSPORTS
BUSINESS LOCATION**

800 N

4

6±
acres

3

17± acres
Swing Tract

2

21± acres

13

House Webster Rd

Tract Descriptions



Kosciusko County, IN
ESTABLISHED

OFFERED IN 6 TRACTS

Water Sports

North Webster
RETAILER

AUCTION

**Business
Inventory
Store
Office
Warehouse**

**75[±]
acres**

Founded in 1972, Bart's Water Sports has been a beacon for water sports enthusiasts for half a century. Bart Culver, the founder, launched the enterprise in a two-story house in North Webster. Since then, it has grown exponentially, moving to a larger location after just two years and then again to a 44-acre parcel with a 36,000± square feet warehouse and 5,300± square feet for the store and office space. Bart's now employs six year-round employees, with additional seasonal staff during the busy summer months.

Bart's Water Sports is more than just a business; it's a community. The company is known for its dedicated employees and loyal customer base, some of whom have been with Bart's since its inception. This sense of camaraderie and dedication to the brand has been a key ingredient in its success. Bart's has had notable customers, including celebrities and heads of state, further attesting to the quality of its products and services.

Over the years, Bart's has been a pioneer in embracing new commercial circumstances, transitioning from print catalogues to the internet in the 1990s. Today, Bart's continues to serve its customers with the latest and greatest in water sports equipment, providing expert guidance and instruction to both novice and seasoned boaters and skiers.

The product lines at Bart's Water Sports cover a wide range of water sports needs, including wakeboarding, water skiing, flotation devices, towables, water park and trampoline equipment, floats, paddle sports, boating essentials, and apparel and wetsuits. The inventory is vast and diverse, ensuring that any water sports enthusiast can find exactly what they need to enjoy their time on the water.

Purchasing Bart's Water Sports means acquiring not just a business, but also a storied history, a dedicated community, and a vast inventory of high-quality water sports equipment. It's a unique opportunity to carry on a legacy of excellence in the water sports industry.

TRACT 1: 31± acres near Lake Webster. Just 2 miles south of Bart's business location, this potential development site has multiple beautiful settings. Approximately 25 acres tillable. Road frontage on 3 sides. Imagine the possibilities!

TRACT 2: 21± acres all wooded with access off of CR 800 N. Amazing recreation and potential development opportunities on this tract. Consider combining with Tract 3 for 38± acres with frontage on two roads!

TRACT 3: 17± acre "Swing" Tract with 1,000±' of frontage on SR 13. 8,000± daily traffic count per INDOT (2021). Tract features partial water and woods. This tract must be combined with either Tract 2, 4 or both.

TRACT 4: 6± acres containing the 42,145± sq ft building with 36,792± sq ft warehouse and 5,353± sq ft office space and store. It has Hwy 13 frontage and includes a portion of a 1 acre pond. This location is known as a retail shop, featuring 35± parking spaces and loading bays. Office space features unique call-center layout plus executive offices with beautiful woodwork throughout. Office furniture is included with this tract, other than conference room desk and table. Combine with Tracts 5+6 to continue the Bart's legacy or use to take your business to the next level!

TRACT 5: The business intangibles including: business "Bart's Watersports" name, domain names, customer mailing and emailing lists, registered trademarks, recently updated website, and social media accounts. Contact the Auction Company for more details.

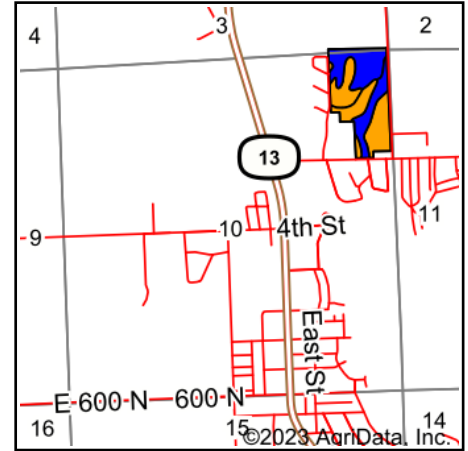
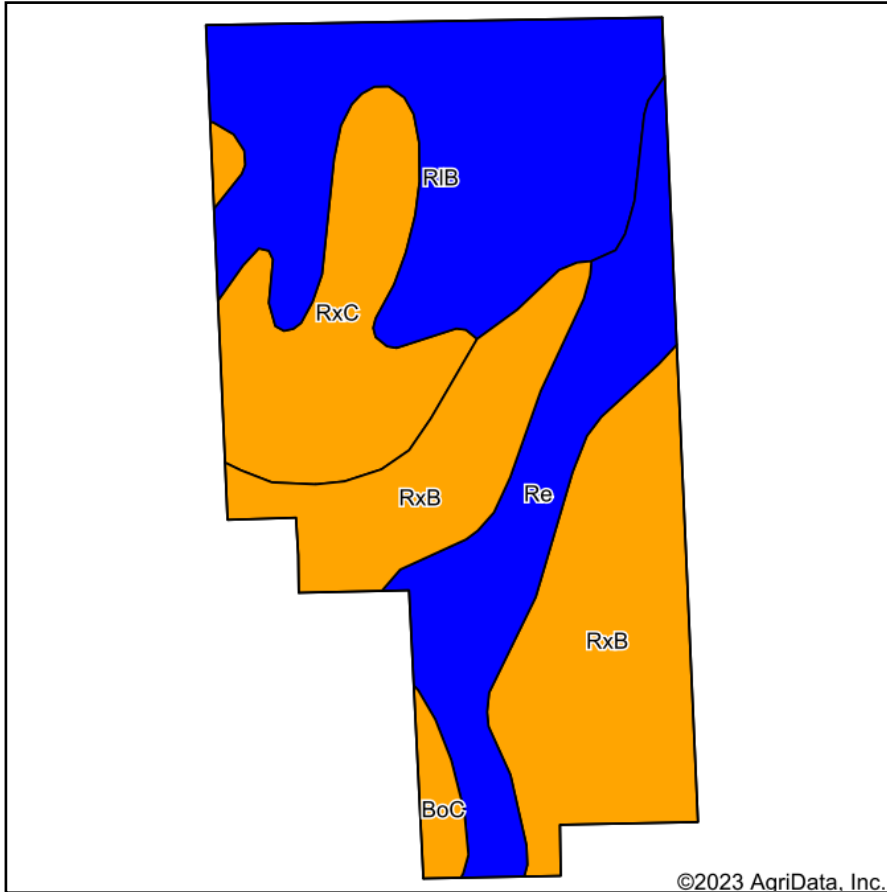
TRACT 6: The business inventory of water sports equipment. Please contact the Auction Company for a complete list, to be updated through the auction. This tract may be further divided into additional tracts, based on product lines, prior to the auction - contact Auction Company.



Soils Maps



SOILS MAP TRACT 1



State: **Indiana**
 County: **Kosciusko**
 Location: **10-33N-7E**
 Township: **Tippecanoe**
 Acres: **31.17**
 Date: **6/27/2023**



Maps Provided By:

 CUSTOMIZED ONLINE MAPPING
 © AgriData, Inc. 2023 www.AgrIDataInc.com



Soils data provided by USDA and NRCS.

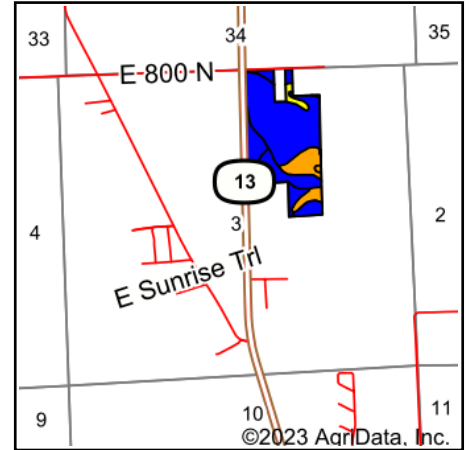
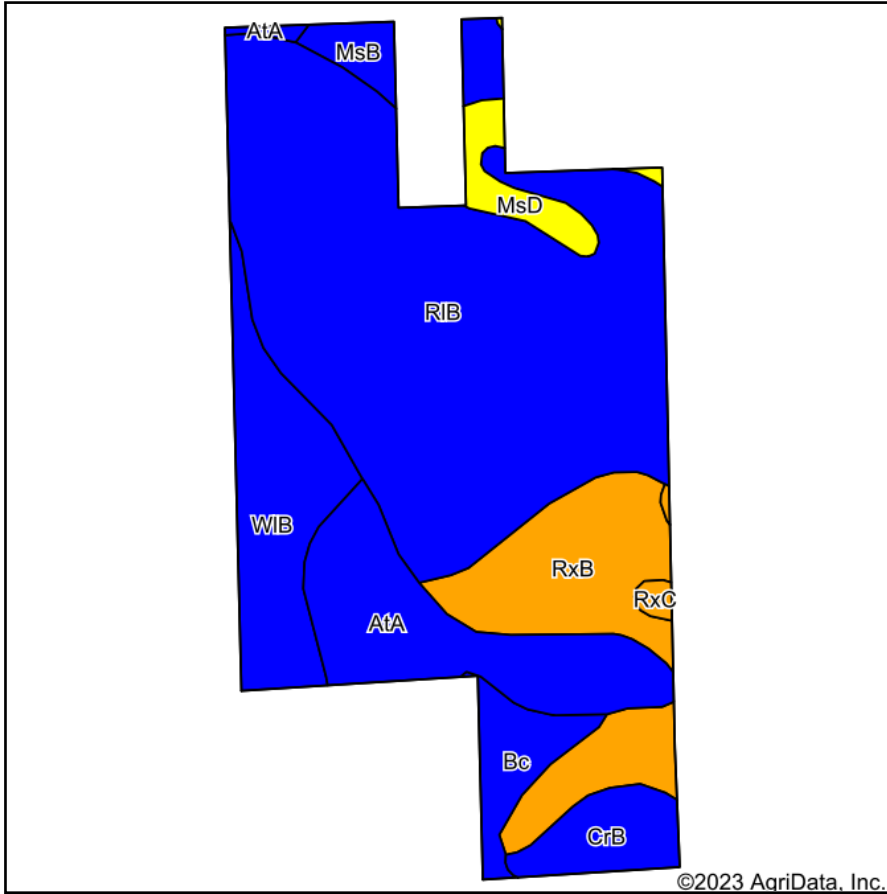
Area Symbol: IN085, Soil Area Version: 25

Code	Soil Description	Acres	Percent of field	Non-Irr Class Legend	Non-Irr Class	Irr Class	Alfalfa hay Tons	Corn Bu	Corn silage Tons	Grass legume hay Tons	Grass legume pasture AUM	Grass legume pasture Tons	Oats Bu	Pasture AUM	Soybeans Bu	Winter wheat Bu
RxB	Riddles-Ormas-Kosciusko complex, 2 to 6 percent slopes	10.29	33.0%		Ille			113	17	4				7	39	57
RIB	Riddles fine sandy loam, 2 to 6 percent slopes	9.72	31.2%		Ile			141	1	5	8	8		1	49	58
Re	Rensselaer loam, 0 to 1 percent slopes	5.34	17.1%		Ilw			167		6				11	49	68
RxC	Riddles-Ormas-Kosciusko complex, 6 to 12 percent slopes	5.21	16.7%		Ille			103	16	3				7	36	52
BoC	Boyer loamy sand, 6 to 12 percent slopes	0.61	2.0%		Ille	Ille	4	82	13	3			58	6	29	45
Weighted Average					2.52	*-	0.1	128.7	8.9	4.5	2.5	2.5	1.1	5.8	43.1	58.1

*- Irr Class weighted average cannot be calculated on the current soils data due to missing data.
 Soils data provided by USDA and NRCS.

SOILS MAP

TRACTS 2-4



State: **Indiana**
 County: **Kosciusko**
 Location: **3-33N-7E**
 Township: **Tippecanoe**
 Acres: **43.87**
 Date: **6/27/2023**

 **SCHRADER**
 Real Estate and Auction Company, Inc.

Maps Provided By:  **surety**
 CUSTOMIZED ONLINE MAPPING

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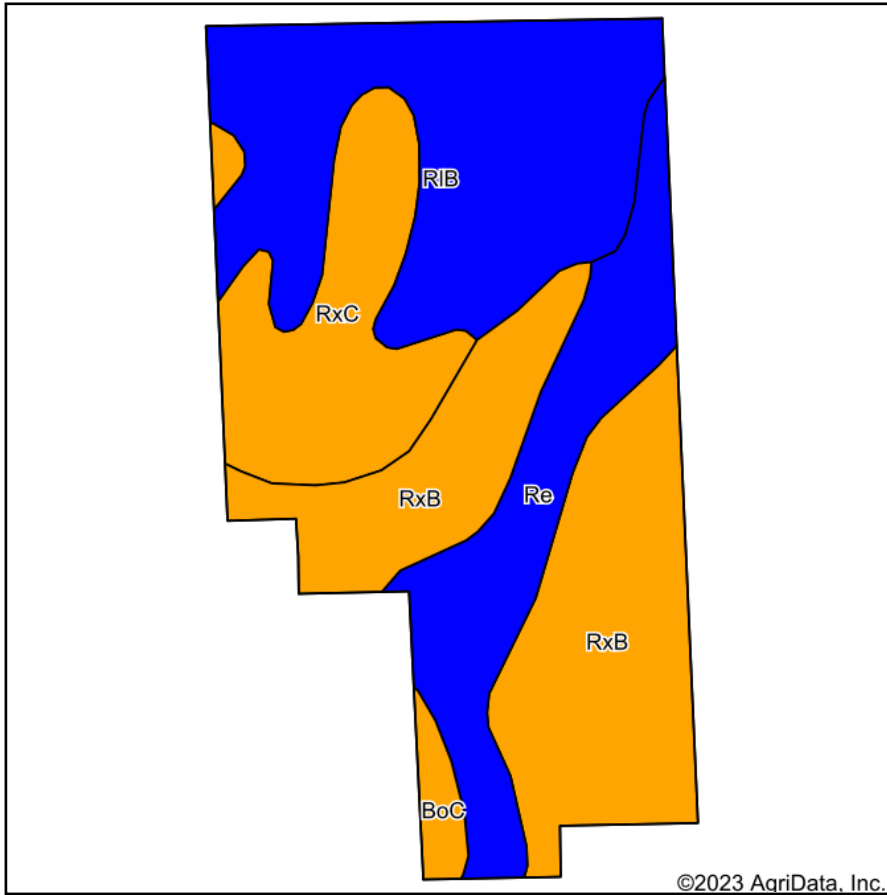
Soils data provided by USDA and NRCS.

Area Symbol: IN085, Soil Area Version: 25

Code	Soil Description	Acres	Percent of field	Non-Irr Class Legend	Non-Irr Class	Corn Bu	Corn silage Tons	Grass legume hay Tons	Grass legume pasture AUM	Grass legume pasture Tons	Pasture AUM	Soybeans Bu	Winter wheat Bu
RIB	Riddles fine sandy loam, 2 to 6 percent slopes	22.25	50.7%		Ile	141	1	5	8	8	1	49	58
RxB	Riddles-Ormas-Kosciusko complex, 2 to 6 percent slopes	5.93	13.5%		IIle	113	17	4			7	39	57
AtA	Aubbeenaubee fine sandy loam, moderately permeable substratum, 0 to 2 percent slopes	5.38	12.3%		IIw	135	17	5			9	44	61
WIB	Wawasee fine sandy loam, 2 to 6 percent slopes	4.51	10.3%		Ile	145		5			9	51	58
CrB	Crosier loam, 1 to 4 percent slopes	1.68	3.8%		Ile	155		5			10	50	69
Bc	Barry loam	1.55	3.5%		IIw	175	23	6			12	49	70
MsB	Miami-Owosso-Metea complex, 2 to 8 percent slopes	1.22	2.8%		Ile	135	19	5			9	47	64
MsD	Miami-Owosso-Metea complex, 10 to 25 percent slopes	1.13	2.6%		IVe	110	13	4			8	38	52
RxC	Riddles-Ormas-Kosciusko complex, 6 to 12 percent slopes	0.22	0.5%		IIle	103	16	3			7	36	52
Weighted Average					2.19	137.5	6.6	4.9	4.1	4.1	4.8	46.9	59.1

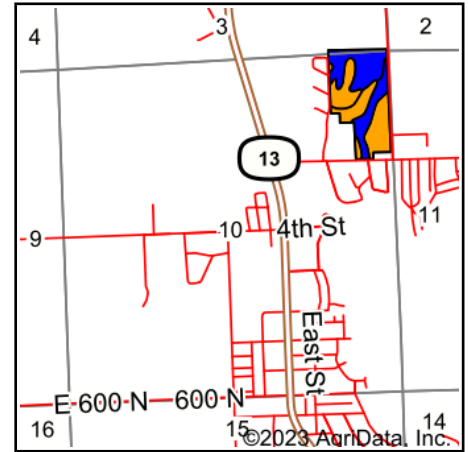
Soils data provided by USDA and NRCS.

SOILS MAP



©2023 AgriData, Inc.

Soils data provided by USDA and NRCS.



State: **Indiana**
 County: **Kosciusko**
 Location: **10-33N-7E**
 Township: **Tippecanoe**
 Acres: **31.17**
 Date: **6/27/2023**



Maps Provided By:



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www.AgrIDataInc.com



Area Symbol: IN085, Soil Area Version: 25

Code	Soil Description	Acres	Percent of field	Non-Irr Class Legend	Non-Irr Class	Irr Class	Alfalfa hay Tons	Corn Bu	Corn silage Tons	Grass legume hay Tons	Grass legume pasture AUM	Grass legume pasture Tons	Oats Bu	Pasture AUM	Soybeans Bu	Winter wheat Bu
RxB	Riddles-Ormas-Kosciusko complex, 2 to 6 percent slopes	10.29	33.0%		Ille			113	17	4				7	39	57
RIB	Riddles fine sandy loam, 2 to 6 percent slopes	9.72	31.2%		Ile			141	1	5	8	8		1	49	58
Re	Rensselaer loam, 0 to 1 percent slopes	5.34	17.1%		Ilw			167		6				11	49	68
RxC	Riddles-Ormas-Kosciusko complex, 6 to 12 percent slopes	5.21	16.7%		Ille			103	16	3				7	36	52
BoC	Boyer loamy sand, 6 to 12 percent slopes	0.61	2.0%		Ille	Ille	4	82	13	3			58	6	29	45
Weighted Average					2.52	*-	0.1	128.7	8.9	4.5	2.5	2.5	1.1	5.8	43.1	58.1

*- Irr Class weighted average cannot be calculated on the current soils data due to missing data.

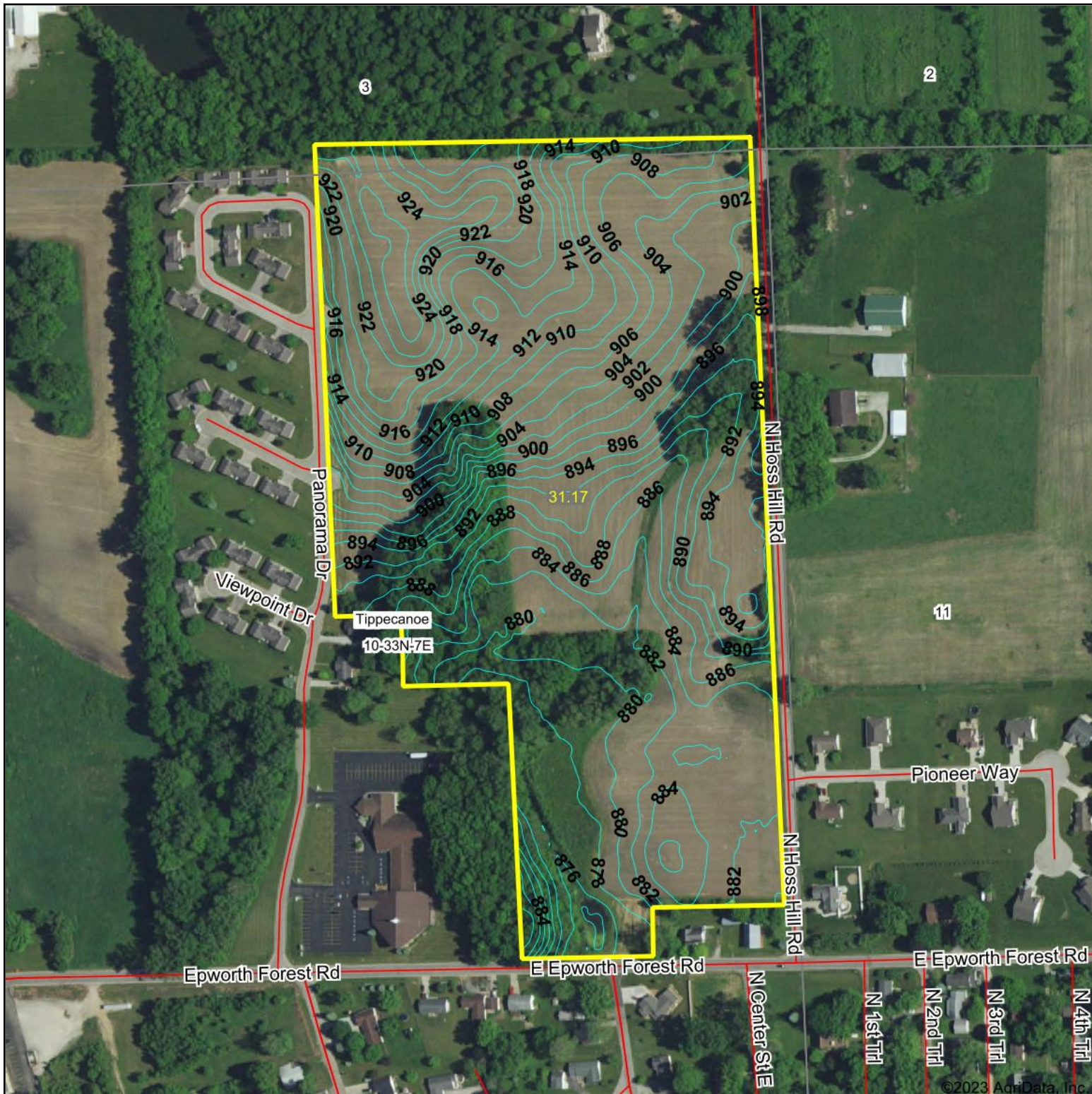
Soils data provided by USDA and NRCS.

Topography Maps



TOPOGRAPHY MAP

TRACT 1



SCHRADER
Real Estate and Auction Company, Inc.

Maps Provided By:
surety
CUSTOMIZED ONLINE MAPPING
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Source: USGS 3 meter dem
Interval(ft): 2.0
Min: 873.9
Max: 927.5
Range: 53.6
Average: 897.3
Standard Deviation: 14.96 ft

0ft 332ft 665ft



6/27/2023

10-33N-7E
Kosciusko County
Indiana

Boundary Center: 41° 20' 9.41, -85° 41' 36.78

FSA & CRP

Information



FSA INFORMATION

TRACT 1

INDIANA
KOSCIUSKO
Form: FSA-156EZ



United States Department of Agriculture
Farm Service Agency

FARM : 2080
Prepared : 7/10/23 1:45 PM CST
Crop Year : 2023

See Page 2 for non-discriminatory Statements.

Abbreviated 156 Farm Record

Operator Name :
CRP Contract Number(s) : None
Recon ID : None
Transferred From : None
ARCPLC G/W/F Eligibility : Eligible

Farm Land Data

Farmland	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane	Farm Status	Number Of Tracts
29.19	26.31	26.31	0.00	0.00	0.00	0.00	0.0	Active	1
State Conservation	Other Conservation	Effective DCP Cropland		Double Cropped		CRP	MPL	DCP Ag.Rel. Activity	SOD
0.00	0.00	26.31		0.00		0.00	0.00	0.00	0.00

Crop Election Choice

ARC Individual	ARC County	Price Loss Coverage
None	WHEAT, CORN	None

DCP Crop Data

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield	HIP
Wheat	1.80	0.00	48	
Corn	24.30	0.00	139	0
TOTAL	26.10	0.00		

NOTES

Tract Number : 2845

Description : K4-B2 NE 1/4 SEC 10 TIPPECANOE TWP 127R
FSA Physical Location : INDIANA/KOSCIUSKO
ANSI Physical Location : INDIANA/KOSCIUSKO
BIA Unit Range Number :
HEL Status : HEL field on tract.Conservation system being actively applied
Wetland Status : Wetland determinations not complete
WL Violations : None
Owners : BART'S WATER SKI CENTER INC
Other Producers : None
Recon ID : None

Tract Land Data

Farm Land	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane
29.19	26.31	26.31	0.00	0.00	0.00	0.00	0.0

FSA INFORMATION

TRACT 1

INDIANA
KOSCIUSKO
Form: FSA-156EZ



United States Department of Agriculture
Farm Service Agency

Abbreviated 156 Farm Record

FARM : 2080
Prepared : 7/10/23 1:45 PM CST
Crop Year : 2023

Tract 2845 Continued ...

State Conservation	Other Conservation	Effective DCP Cropland	Double Cropped	CRP	MPL	DCP Ag. Rel Activity	SOD
0.00	0.00	26.31	0.00	0.00	0.00	0.00	0.00

DCP Crop Data

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield
Wheat	1.80	0.00	48
Corn	24.30	0.00	139
TOTAL	26.10	0.00	

NOTES

In accordance with Federal civil rights law and U.S. Department of Agriculture (USDA) civil rights regulations and policies, the USDA, its Agencies, offices, and employees, and institutions participating in or administering USDA programs are prohibited from discriminating based on race, color, national origin, religion, sex, gender identity (including gender expression), sexual orientation, disability, age, marital status, family/parental status, income derived from a public assistance program, political beliefs, or reprisal or retaliation for prior civil rights activity, in any program or activity conducted or funded by USDA (not all bases apply to all programs). Remedies and complaint filing deadlines vary by program or incident.

Persons with disabilities who require alternative means of communication for program information (e.g., Braille, large print, audiotape, American Sign Language, etc.) should contact the responsible Agency or USDA's TARGET Center at (202) 720-2600 (voice and TTY) or contact USDA through the Federal Relay Service at (800) 877-8339. Additionally, program information may be made available in languages other than English.

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FSA INFORMATION

TRACT 1

USDA Farm 2080 Tract 2845

2023 Certification map prepared on: 3/19/2023

Administered by: Kosciusko County, Indiana

OP:
OW: BART'S WATER SKI CENTER INC

29.19 Tract acres
26.31 Cropland acres
0 CRP acres

CRP

CLU

Kosciusko

Wetland Determination Identifiers:

● Restricted Use

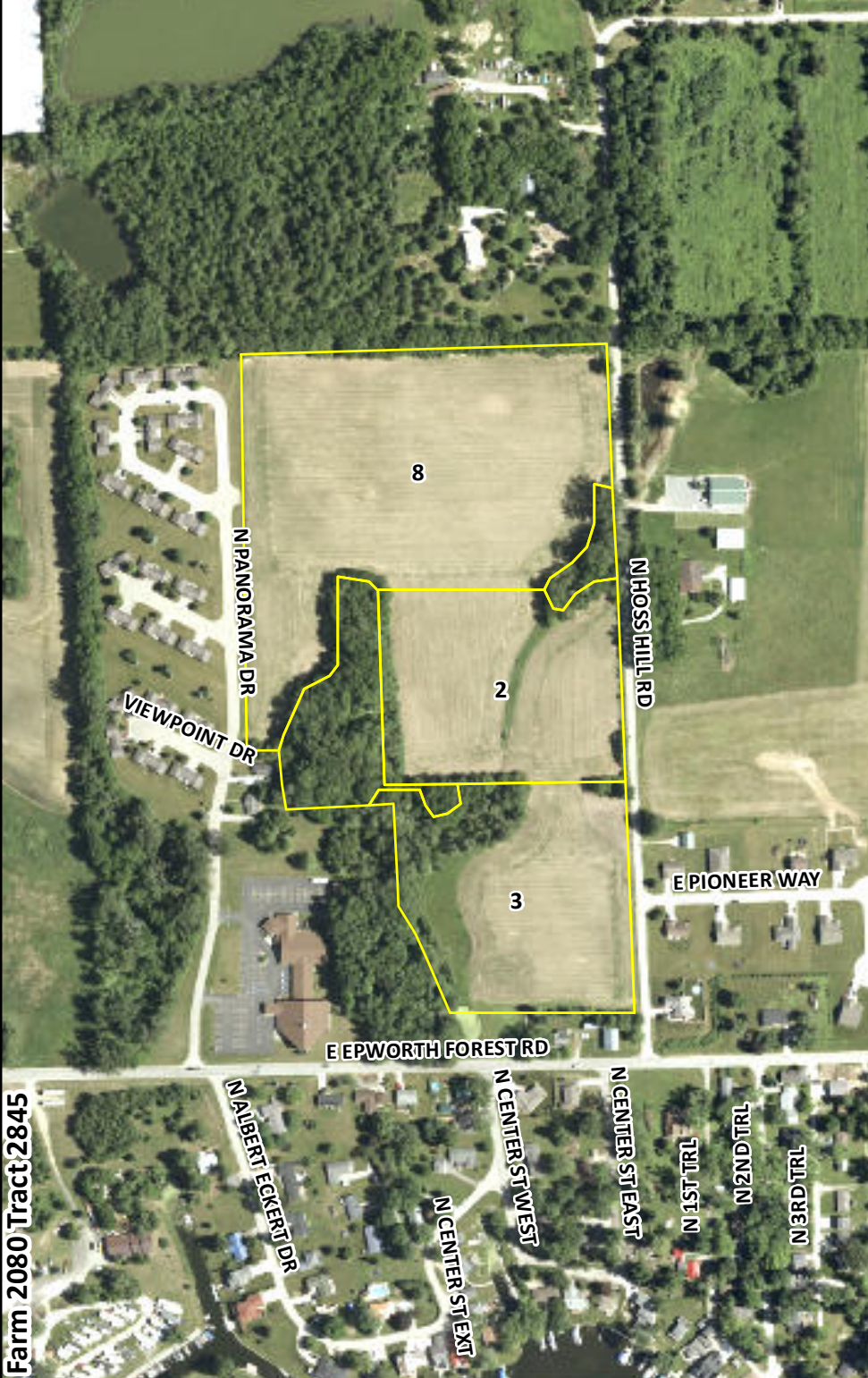
▼ Limited Restrictions

■ Exempt from Conservation Compliance Provisions



Source: Primarily USDA NAIP 2022 EAWS production imagery; IDHS or Dynamap roads; FSA data 2023-03-17 09:10:49

Crops are non-irrigated, intended use is grain, and types are YEL (corn), COM (soybeans), and SRW (wheat) unless noted



CLU	Acres	HEL	LC	Contract	Prac	Yr	C I
-----	-------	-----	----	----------	------	----	-----

2	6.32	H	2				Y
---	------	---	---	--	--	--	---

Crop:
Type:
IUse:
Date:
NI or IRR
Shares:

3	6.78	H	2				Y
---	------	---	---	--	--	--	---

Crop:
Type:
IUse:
Date:
NI or IRR
Shares:

8	13.21	H	2				Y
---	-------	---	---	--	--	--	---

Crop:
Type:
IUse:
Date:
NI or IRR
Shares:

Farm 2080 Tract 2845

USDA FSA maps are for FSA program administration only. This map does not represent a legal survey or reflect actual ownership; rather it depicts information provided directly from the producer and/or NAIP imagery. The producer accepts the data 'as is' and assumes all risks associated with its use. The USDA Farm Service Agency assumes no responsibility for actual or consequential damage incurred as a result of any user's reliance on this data outside FSA programs. Wetland identifiers do not represent the size, shape, or specific determination of the area. Refer to your original determination (CPA-026 and attached maps) for exact boundaries and determinations or contact NRCS

FSA INFORMATION

TRACT 2

INDIANA
KOSCIUSKO
Form: FSA-156EZ



United States Department of Agriculture
Farm Service Agency

FARM : 5749
Prepared : 7/10/23 1:22 PM CST
Crop Year : 2023

See Page 2 for non-discriminatory Statements.

Abbreviated 156 Farm Record

Operator Name : : 11297
CRP Contract Number(s) : None
Recon ID : None
Transferred From : Eligible
ARCPLC G/W/F Eligibility

Farm Land Data

Farmland	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane	Farm Status	Number Of Tracts
19.71	14.90	14.90	0.00	0.00	0.00	0.00	0.0	Active	1
State Conservation	Other Conservation	Effective DCP Cropland	Double Cropped		CRP	MPL	DCP Ag.Rel. Activity	SOD	
0.00	0.00	0.00	0.00		14.90	0.00	0.00	0.00	

Crop Election Choice

ARC Individual	ARC County	Price Loss Coverage
None	None	None

DCP Crop Data

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield	HIP

NOTES

Tract Number : 17572

Description : K4-B2 NE 1/4 SEC 3 TIPPECANOE TWP 127R
FSA Physical Location : INDIANA/KOSCIUSKO
ANSI Physical Location : INDIANA/KOSCIUSKO
BIA Unit Range Number :
HEL Status : NHEL: No agricultural commodity planted on undetermined fields
Wetland Status : Wetland determinations not complete
WL Violations : None
Owners : BART CULVER
Other Producers : None
Recon ID : None

Tract Land Data

Farm Land	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane
19.71	14.90	14.90	0.00	0.00	0.00	0.00	0.0
State Conservation	Other Conservation	Effective DCP Cropland	Double Cropped	CRP	MPL	DCP Ag. Rel Activity	SOD
0.00	0.00	0.00	0.00	14.90	0.00	0.00	0.00

FSA INFORMATION

TRACT 2

INDIANA
KOSCIUSKO
Form: FSA-156EZ



United States Department of Agriculture
Farm Service Agency

Abbreviated 156 Farm Record

FARM : 5749
Prepared : 7/10/23 1:22 PM CST
Crop Year : 2023

DCP Crop Data

Tract 17572 Continued ...

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield
-----------	------------	-----------------------------	-----------

NOTES

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FSA INFORMATION

TRACT 2

USDA Farm 5749 Tract 17572

2023 Certification map prepared on: 12/15/2022

Administered by: Kosciusko County, Indiana

OP:
OW: CULVER, BART

19.71 Tract acres
14.9 Cropland acres
14.9 CRP acres

CRP

CLU

Kosciusko

Wetland Determination Identifiers:

● Restricted Use

▼ Limited Restrictions

■ Exempt from Conservation Compliance Provisions



Source: Primarily USDA NAIP 2022 EAWS production imagery; IDHS or Dynamap roads; FSA data 2022-12-15 10:45:55

Crops are non-irrigated, intended use is grain, and types are YEL (corn), COM (soybeans), and SRW (wheat) unless noted

CLU	Acres	HEL	LC	Contract	Prac	Yr	C I
1	14.9	N	2	11297	3A	35	Y



Farm 5749 Tract 17572

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CRP INFORMATION TRACT 2

This form is available electronically

BART CULVER

Form Approved - OMB No. 0560-0082

FSA-848B
(09-10-2015)

U.S. DEPARTMENT OF AGRICULTURE
Farm Service Agency

COST-SHARE PERFORMANCE CERTIFICATION AND PAYMENT

(See Page 3 for Privacy Act and Burden Statements.)

THIS CERTIFICATION AND REQUEST FOR PAYMENT is submitted by the undersigned owners, operators, tenants, and/or producers (who individually will herein be referred to as "the Participant"). By signing this form, the Participant agrees to the following: 1) the Participant requested cost-share assistance to perform practice(s) designed to meet the objectives of the program referenced on FSA-848B; 2) the Participant agrees that this practice(s) would not be performed without Federal cost-sharing; and 3) for the practice(s) approved, the Participant agrees to refund all or part of the funds paid to him/her, as determined appropriate by the Approving Official, if before expiration of the lifespan of the specified practice(s), the Participant (a) destroys the approved practice(s), or (b) voluntarily relinquishes control of or title to, the land on which the approved practice(s) has been established; and the new owner and/or operator of the land does not agree in writing to properly maintain the practice(s) for the remainder of its life span. The Participant further agrees that if he or she began the practice(s) before receiving written approval, he or she may be denied cost-share funding. Further, the Participant hereby authorizes a representative of USDA to have access to the practice site area(s). Further, the participant understands that form FSA-848B-1 is by reference incorporated herein. **BY SIGNING THIS CERTIFICATION, THE PARTICIPANT ACKNOWLEDGES RECEIPT OF THE FOLLOWING FORMS: FSA-848B AND ANY ADDENDUM THERE TO.**

NOTE: To receive payment or credit for any cost-shares earned on these practice(s), report performance below, by completing items 9 and 10, and file with the issuing FSA county office by the practice expiration date(s) listed on the FSA-848B.

9. PRACTICES PERFORMED												
A. Farm No.	B. Tract No.	C. Field No.	D. Practice Control No.	E. Practice Units	F. Practice Acreage	G. Is the Practice Complete? (YES or NO)	H. Acres Served	I. Approved Cost-Share	J. Total Installation Cost	K. If practice is not complete and cost-share is still requested for this practice, list codes for completed components.		
5749	17572		18-085-2021-0017-01-CP3A	Acre	14.90	NO	14.90	\$0.00	\$0.00			
L. TOTALS:											\$0.00	

INSTRUCTIONS TO PARTICIPANT To receive payment or credit for any cost-shares earned on this agreement, report performance on page 1, and file with the issuing FSA county office by the practice expiration dates.

10. CERTIFICATION BY PARTICIPANT: I certify that the above information is true and correct. I further certify that the practice(s) was performed in accordance with the practice specifications and other requirements. If item 9G indicates that the practice is not complete, I request cost-share for the completed components shown in item 9K. I agree to complete the remaining components approved under FSA-848B, for this practice(s), by the practice expiration date, regardless of whether or not cost-share assistance is approved. I agree to refund any cost-share assistance paid to me under this practice(s), if I fail to complete it. I hereby apply for payment to the extent that the Approving Official has determined that the practice has been performed and further certifies that this payment is not a duplicate of any other earned by me. I agree to maintain and use the practice(s) for the minimum minimum period established for the practice(s). I agree to refund all or part of the cost-share assistance paid to me, as determined by the Approving Official, if before expiration of the practice lifespan specified above, (a) I destroy the practice installed, or (b) voluntarily relinquish control or title to the land on which the installed practice(s) have been established and the new owner and/or operator of the land does not agree in writing to properly maintain the practice(s) for the remainder of their lifespan. I understand that FSA-848 and FSA-848A and any addendum thereto are by reference incorporated herein and with this form constitutes the entire agreement between the parties.

A(1) Did you and the other participants on this agreement bear all the expense (except for program cost sharing) for performing this practice? YES NO

B(1) During the current fiscal year Oct. 1 - Sep. 30, have you received or will you or any participant on this agreement receive a cost-share payment under the same program on this or any other farm other than through this FSA-848B? YES NO

A(2) If "NO", report name(s) and addresses of other person(s) or agency who bore any part of the expenses. Also, show kind, extent and value of their contribution. YES NO

C. Participant Signature (by) *Starr A. Senter*

D. Title/Relationship of the Individual if Signing in a Representative Capacity POA

E. Date (MM-DD-YYYY) 12-28-2020

The U.S. Department of Agriculture (USDA) prohibits discrimination in all of its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, gender identity, genetic information, reprisal, or because all or part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 725-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Assistant Secretary for Civil Rights, 1400 Independence Avenue, S.W., Stop 9410, Washington, DC 20250-9410, or call toll free at (866) 632-9992 (English) or (800) 877-8339 (TDD) or (866) 377-8642 (English Federal-relay) or (800) 845-6136 (Spanish Federal-relay). USDA is an equal opportunity provider, employer, and lender.

CRP INFORMATION

TRACT 2

BART CULVER

EMERGENCY PROGRAMS ONLY

FSA-848B (09-10-2015)

11. AGREEMENT INFORMATION

A. Program Code CRP	B. Program Year 18 085	C. ST. & CO. Code 18 085	D. Agreement Number 18_085_2021_0017	E. Contract ID 11297	F. Disaster ID Non-Project Area
------------------------	---------------------------	-----------------------------	---	-------------------------	------------------------------------

12. PRACTICE EXTENT PERFORMED

A. Farm No.	B. Tract No.	C. Field No.	D. Practice Control No.	E. Practice Units	F. Practice Extent Approved	G. Practice Extent Performed	H. Acres Served	I. Approved Cost-Share	J. Total Installation Cost	K. Cost-Share Earned
L TOTALS:									\$0	\$0

13. COMPONENT EXTENT PERFORMED

A. Farm No.	B. Tract No.	C. Field No.	D. Practice Control No.	E. Component No.	F. Component Title	G. Component Units	H. Component Extent Approved	I. Approved Cost-Share	J. Component Extent Performed	K. Cost-Share Earned

14. TECHNICAL PRACTICE EXTENT APPLIED

A. Farm No.	B. Tract No.	C. Field No.	D. Practice Control No.	E. Technical Practice Code	F. Technical Practice Title	G. Technical Practice Units	H. Technical Practice Cost-Shared	I. Technical Practice Extent Planned	J. Technical Practice Extent Applied
							<input type="checkbox"/> YES <input type="checkbox"/> NO		
							<input type="checkbox"/> YES <input type="checkbox"/> NO		
							<input type="checkbox"/> YES <input type="checkbox"/> NO		

A. Signature of Technical Service Provider or Participant <i>Shari Smith, PA</i>	B. Date <i>12-28-20</i>	C. Affiliation	D. Practice Control Number	E. Performance Statement <i>DONE</i>
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15. Performance Certification

CRP INFORMATION

TRACT 2

CRP-1 (07-06-20)	U.S. DEPARTMENT OF AGRICULTURE Commodity Credit Corporation	1 ST. & CO. CODE & ADMIN. LOCATION 18 085	2 SIGN-UP NUMBER 54
CONSERVATION RESERVE PROGRAM CONTRACT		3 CONTRACT NUMBER 11297	4 ACRES FOR ENROLLMENT 14.90
5A COUNTY FSA OFFICE ADDRESS (Include Zip Code) KOOSCIUSKO COUNTY FARM SERVICE AGENCY 217 E. BELL DRIVE WARSAW, IN 46582-9350		6. TRACT NUMBER 17572	7. CONTRACT PERIOD FROM: (MM-DD-YYYY) TO: (MM-DD-YYYY) 10-01-2020 09-30-2035
5B COUNTY FSA OFFICE PHONE NUMBER (Include Area Code): 15741267-7445		8 SIGNUP TYPE General	

THIS CONTRACT is entered into between the Commodity Credit Corporation (referred to as "CCC") and the undersigned owners, operators, or tenants (referred to as "the Participant"). The Participant agrees to place the designated acreage into the Conservation Reserve Program ("CRP") or other use set by CCC for the stipulated contract period from the date the Contract is executed by the CCC. The Participant also agrees to implement on such designated acreage the Conservation Plan developed for such acreage and approved by the CCC and the Participant. Additionally, the Participant and CCC agree to comply with the terms and conditions contained in this Contract, including the Appendix to this Contract, entitled Appendix to CRP-1, Conservation Reserve Program Contract (referred to as "Appendix"). By signing below, the Participant acknowledges receipt of a copy of the Appendix/Appendices for the applicable contract period. The terms and conditions of this contract are contained in this Form CRP-1 and in the CRP-1 Appendix and any addendum thereto. BY SIGNING THIS CONTRACT PARTICIPANTS ACKNOWLEDGE RECEIPT OF THE FOLLOWING FORMS: CRP-1; CRP-1 Appendix and any addendum thereto; and, CRP-2, CRP-2C, CRP-2G, or CRP-2C30, as applicable.

9A Rental Rate Per Acre	\$ 160.00	SS	10. Identification of CRP Land (See Page 2 for additional space)			
9B Annual Contract Payment	\$ 2,384.00	A. Tract No.	B. Field No.	C. Practice No.	D. Acres	E. Total Estimated Cost-Share
9C First Year Payment	\$	17572	0001	CP3A	14.90	\$ 0.00
<i>(Item 9C is applicable only when the first year payment is prorated.)</i>						

11. PARTICIPANTS (If more than three individuals are signing, see Page 3.)

A(1) PARTICIPANT'S NAME AND ADDRESS (Include Zip Code)	(2) SHARE	(3) SIGNATURE (By)	(4) TITLE/RELATIONSHIP OF THE INDIVIDUAL SIGNING IN THE REPRESENTATIVE CAPACITY	(5) DATE (MM-DD-YYYY)
BART CULVER PO BOX 294 NORTH WEBSTER, IN 46555-0294	100.00 %	Steve Senter	P.O.A.	09/08/2020
	%			(MM-DD-YYYY)
	%			(MM-DD-YYYY)

12. CCC USE ONLY	A. SIGNATURE OF CCC REPRESENTATIVE <i>James Harriott Ced</i>	B. DATE (MM-DD-YYYY) 09/29/2020
-------------------------	---	---------------------------------------

NOTE: The following statement is made in accordance with the Privacy Act of 1974 (5 USC 552a - as amended). The authority for requesting the information identified on this form is the Commodity Credit Corporation Charter Act (15 U.S.C. 714 et seq.), the Food Security Act of 1985 (16 U.S.C. 3801 et seq.), the Agricultural Act of 2014 (16 U.S.C. 3831 et seq.), the Agricultural Improvement Act of 2018 (Pub. L. 115-334) and 7 CFR Part 1410. The information will be used to determine eligibility to participate in and receive benefits under the Conservation Reserve Program. The information collected on this form may be disclosed to other Federal, State, Local government agencies, Tribal agencies, and nongovernmental entities that have been authorized access to the information by statute or regulation and/or as described in applicable Routine Uses identified in the System of Records Notice for USDA/FSA-2, Farm Records File (Automated). Providing the requested information is voluntary. However, failure to furnish the requested information will result in a determination of ineligibility to participate in and receive benefits under the Conservation Reserve Program.

Paperwork Reduction Act (PRA) Statement: The information collection is exempted from PRA as specified in 16 U.S.C. 3846(b)(1). The provisions of appropriate criminal and civil fraud, privacy, and other statutes may be applicable to the information provided. **RETURN THIS COMPLETED FORM TO YOUR COUNTY FSA OFFICE.**

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SEP 14 2020

CRP INFORMATION

TRACT 2

Date: 8/20/2020

Conservation Plan Map

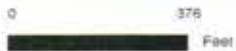
Client(s): BART CULVER
 Kosciusko County, Indiana
 Approximate Acres: 14.90

Assisted By: CHAD SCHOTTER
 WARSAW SERVICE CENTER
 KOSCIUSKO COUNTY SOIL & WATER CONSERVATION DISTR

Land Units: Tract 17572, Fields 1



Prepared with assistance from USDA-Natural Resources Conservation Service



 Practice Schedule PLUs	Conservation Practice Polygons
	 Tree/Shrub Establishment (612)



FSA INFORMATION

TRACTS 3 & 4

INDIANA
KOSCIUSKO



United States Department of Agriculture
Farm Service Agency

FARM : 2192

Prepared : 7/10/23 1:24 PM CST

Form: FSA-156EZ

Crop Year : 2023

See Page 2 for non-discriminatory Statements.

Abbreviated 156 Farm Record

Operator Name :
CRP Contract Number(s) : None
Recon ID : None
Transferred From : None
ARCPLC G//F Eligibility : Eligible

Farm Land Data

Farmland	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane	Farm Status	Number Of Tracts
27.06	10.00	10.00	0.00	0.00	0.00	0.00	0.0	Active	1
State Conservation	Other Conservation	Effective DCP Cropland	Double Cropped		CRP	MPL	DCP Ag.Rel. Activity	SOD	
0.00	0.00	10.00	0.00		0.00	0.00	0.00	0.00	

Crop Election Choice

ARC Individual	ARC County	Price Loss Coverage
None	None	CORN

DCP Crop Data

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield	HIP
Corn	10.00	0.00	90	
TOTAL	10.00	0.00		

NOTES

Tract Number : 2824

Description : K4-B2 NE 1/4 SEC 3 TIPPECANOE TWP 127R
 FSA Physical Location : INDIANA/KOSCIUSKO
 ANSI Physical Location : INDIANA/KOSCIUSKO
 BIA Unit Range Number :
 HEL Status : NHEL: No agricultural commodity planted on undetermined fields
 Wetland Status : Wetland determinations not complete
 WL Violations : None
 Owners : BART'S WATER SKI CENTER INC
 Other Producers : None
 Recon ID : None

Tract Land Data

Farm Land	Cropland	DCP Cropland	WBP	EWP	WRP	GRP	Sugarcane
27.06	10.00	10.00	0.00	0.00	0.00	0.00	0.0
State Conservation	Other Conservation	Effective DCP Cropland	Double Cropped	CRP	MPL	DCP Ag. Rel Activity	SOD
0.00	0.00	10.00	0.00	0.00	0.00	0.00	0.00

FSA INFORMATION

TRACTS 3 & 4

INDIANA
KOSCIUSKO
Form: FSA-156EZ



United States Department of Agriculture
Farm Service Agency

Abbreviated 156 Farm Record

FARM : 2192
Prepared : 7/10/23 1:24 PM CST
Crop Year : 2023

Tract 2824 Continued ...

DCP Crop Data

Crop Name	Base Acres	CCC-505 CRP Reduction Acres	PLC Yield
Corn	10.00	0.00	90
TOTAL	10.00	0.00	

NOTES

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FSA INFORMATION

TRACTS 3 & 4

USDA Farm 2192 Tract 2824

2023 Certification map prepared on: 3/19/2023

Administered by: Kosciusko County, Indiana

OP:
OW: BART'S WATER SKI CENTER INC

27.06 Tract acres
10.0 Cropland acres
0 CRP acres

CRP

CLU

Kosciusko

Wetland Determination Identifiers:

● Restricted Use

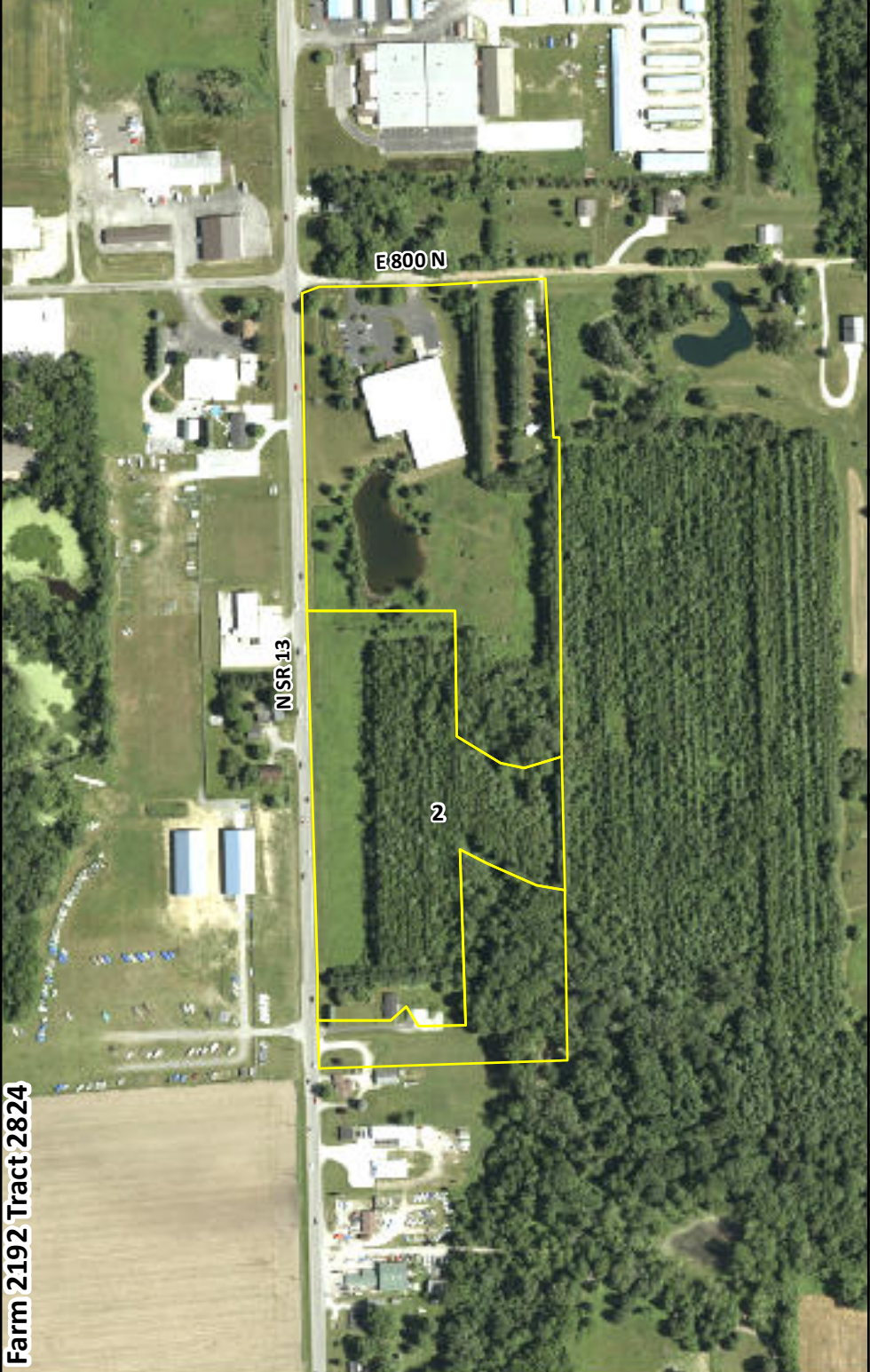
▼ Limited Restrictions

■ Exempt from Conservation Compliance Provisions



Source: Primarily USDA NAIP 2022 EAWS production imagery; IDHS or Dynamap roads; FSA data 2023-03-17 09:10:49

Crops are non-irrigated, intended use is grain, and types are YEL (corn), COM (soybeans), and SRW (wheat) unless noted



CLU	Acres	HEL	LC	Contract	Prac	Yr	C	I
2	10.0	N	2					Y
Crop:								
Type:								
IUse:								
Date:								
NI or IRR								
Shares:								

Farm 2192 Tract 2824

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County Information



COUNTY INFORMATION

TRACT 1

TIPPECANOE TWP ACREA 1/2

General Information
Parcel Number 43-08-10-100-105.000-023
Local Parcel Number 0570201364
Tax ID:

Routing Number 005-037-083
Property Class 100
 Vacant Land

Ownership
 BARTS WATER SKI CENTER INC
 7581 E 800 N
 NORTH WEBSTER, IN 46555

EPWORTH FOREST RD
100, Vacant Land

Notes
 9/24/2009 SP01: .23A T05-37-83.D & 5-37-83.E
 HABITAT FOR HUMANITY 2-2-01

Transfer of Ownership
Date 01/03/2001
Owner BARTS WATER SKI C
Doc ID Code /
Book/Page /
Adj Sale Price \$0
Vl I

Date 06/29/1983
Owner NT NOT IN GRANTOR
Doc ID Code 0
Book/Page /
Adj Sale Price \$0
Vl I

Date 01/01/1900
Owner BAKER ELIZABETH M
Doc ID Code /
Book/Page /
Adj Sale Price \$0
Vl I

EPWORTH FOREST RD
100, Vacant Land

Legal
 5-37-83
 PTE 1/2 NE 10-33-7 31.12A

Valuation Records (Work In Progress values are not certified values and are subject to change)

Assessment Year 2023
Reason For Change WIP
As Of Date 02/24/2023
Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Assessment Year 2022
Reason For Change AA
As Of Date 01/01/2022
Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Assessment Year 2021
Reason For Change AA
As Of Date 01/01/2021
Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Year: 2023
County Kosciusko
Township TIPPECANOE
District 023 (Local 023) TIPPECANOE TOWNSHIP
School Corp 4345 WAWASEE COMMUNITY
Neighborhood 514010-023 TIPPECANOE TWP ACREAGE - A
Section/Plat 10-33-7

Year: 2022
County Kosciusko
Township TIPPECANOE
District 023 (Local 023) TIPPECANOE TOWNSHIP
School Corp 4345 WAWASEE COMMUNITY
Neighborhood 514010-023 TIPPECANOE TWP ACREAGE - A
Section/Plat 10-33-7

Year: 2021
County Kosciusko
Township TIPPECANOE
District 023 (Local 023) TIPPECANOE TOWNSHIP
School Corp 4345 WAWASEE COMMUNITY
Neighborhood 514010-023 TIPPECANOE TWP ACREAGE - A
Section/Plat 10-33-7

Year: 2020
County Kosciusko
Township TIPPECANOE
District 023 (Local 023) TIPPECANOE TOWNSHIP
School Corp 4345 WAWASEE COMMUNITY
Neighborhood 514010-023 TIPPECANOE TWP ACREAGE - A
Section/Plat 10-33-7

Year: 2019
County Kosciusko
Township TIPPECANOE
District 023 (Local 023) TIPPECANOE TOWNSHIP
School Corp 4345 WAWASEE COMMUNITY
Neighborhood 514010-023 TIPPECANOE TWP ACREAGE - A
Section/Plat 10-33-7

Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Valuation Method Indiana Cost Mod
Equalization Factor 1.0000
Notice Required

Land
 \$46,100
 Land Res (1) \$0
 Land Non Res (2) \$46,100
 Land Non Res (3) \$0
Improvement
 \$0
 Imp Res (1) \$0
 Imp Non Res (2) \$0
 Imp Non Res (3) \$0
Total
 \$46,100
 Total Res (1) \$0
 Total Non Res (2) \$46,100
 Total Non Res (3) \$0

Land
 \$36,400
 Land Res (1) \$0
 Land Non Res (2) \$36,400
 Land Non Res (3) \$0
Improvement
 \$0
 Imp Res (1) \$0
 Imp Non Res (2) \$0
 Imp Non Res (3) \$0
Total
 \$36,400
 Total Res (1) \$0
 Total Non Res (2) \$36,400
 Total Non Res (3) \$0

Land
 \$31,300
 Land Res (1) \$0
 Land Non Res (2) \$31,300
 Land Non Res (3) \$0
Improvement
 \$0
 Imp Res (1) \$0
 Imp Non Res (2) \$0
 Imp Non Res (3) \$0
Total
 \$31,300
 Total Res (1) \$0
 Total Non Res (2) \$31,300
 Total Non Res (3) \$0

Land
 \$31,000
 Land Res (1) \$0
 Land Non Res (2) \$31,000
 Land Non Res (3) \$0
Improvement
 \$0
 Imp Res (1) \$0
 Imp Non Res (2) \$0
 Imp Non Res (3) \$0
Total
 \$31,000
 Total Res (1) \$0
 Total Non Res (2) \$31,000
 Total Non Res (3) \$0

Land
 \$37,800
 Land Res (1) \$0
 Land Non Res (2) \$37,800
 Land Non Res (3) \$0
Improvement
 \$0
 Imp Res (1) \$0
 Imp Non Res (2) \$0
 Imp Non Res (3) \$0
Total
 \$37,800
 Total Res (1) \$0
 Total Non Res (2) \$37,800
 Total Non Res (3) \$0

Land Data (Standard Depth: Res 120', CI 120' Base Lot: Res 0' X 0', CI 0' X 0')

Land Pricing Method ID	Act Front.	Size Factor	Rate	Adj. Rate	Ext. Value	Infl. %	Res Market Elig %	Factor	Value
4 A BOC	0	0.020000	\$1,900	\$1,045	\$21	0%	0%	1.0000	\$20
4 A RE	0	4.580000	\$1,900	\$2,432	\$11,139	0%	0%	1.0000	\$11,140
4 A RLB	0	9.440000	\$1,900	\$1,862	\$17,577	0%	0%	1.0000	\$17,580
4 A RXB	0	7.420000	\$1,900	\$1,368	\$10,151	0%	0%	1.0000	\$10,150
4 A RXC	0	4.140000	\$1,900	\$1,216	\$5,034	0%	0%	1.0000	\$5,030
5 A	0	1.770000	\$1,900	\$1,900	\$3,363	-60%	0%	1.0000	\$1,350
6 A BOC	0	0.570000	\$1,900	\$1,045	\$596	-80%	0%	1.0000	\$120
6 A RE	0	0.560000	\$1,900	\$2,432	\$1,362	-80%	0%	1.0000	\$270
6 A RLB	0	0.020000	\$1,900	\$1,862	\$37	-80%	0%	1.0000	\$10
6 A RXB	0	0.640000	\$1,900	\$1,368	\$876	-80%	0%	1.0000	\$180
6 A RXC	0	0.910000	\$1,900	\$1,216	\$1,107	-80%	0%	1.0000	\$220
82 A RXC	0	1.0500	\$1,900	\$1,216	\$1,277	-100%	0%	1.0000	\$00

Land Computations
 Calculated Acreage 31.12
 Actual Frontage 0
 Developer Discount

Parcel Acreage 31.12
 81 Legal Drain NV 0.00
 82 Public Roads NV 1.05
 83 UT Towers NV 0.00
 9 Homesite 0.00
 91/92 Acres 0.00
 Total Acres Farmland 30.07
 Farmland Value \$46,070
 Measured Acreage 30.07
 Avg Farmland Value/Acre 1532
 Value of Farmland \$46,070
 Classified Total \$0
 Farm / Classified Value \$46,100
 Homesite(s) Value \$0
 91/92 Value \$0
 Supp. Page Land Value \$0
 CAP 1 Value \$0
 CAP 2 Value \$46,100
 CAP 3 Value \$0
Total Value \$46,100

Characteristics
Topography Flood Hazard
 Level
Public Utilities ERA
 Gas, Electricity
Streets or Roads TIF
 Paved
Neighborhood Life Cycle Stage Other
 Printed Sunday, April 2, 2023
Review Group 2025
Data Source N/A
Collector
Appraiser

COUNTY INFORMATION

TRACT 2

43-08-03-100-841.000-023

General Information
Parcel Number
 43-08-03-100-841.000-023
Local Parcel Number
 0572600671
Tax ID:

Routing Number
 005-009-003

Property Class 100
 Vacant Land

Year: 2023

Location Information

County
 Kosciusko
Township
 TIPPECANOE
District 023 (Local 023)
 TIPPECANOE TOWNSHIP
School Corp 4345
 WAWASEE COMMUNITY
Neighborhood 514010-023
 TIPPECANOE TWP ACREAGE - A

Section/Plat
 3-33-7

Location Address (1)
 E 800 N
 NORTH WEBSTER, IN 46555

Zoning
 AG AGRICULTURE

Subdivision

Lot

Market Model
 N/A

Characteristics

Topography
 Rolling
Flood Hazard

Public Utilities
 Electricity
 ERA

Streets or Roads
 Unpaved
 TIF

Neighborhood Life Cycle Stage
 Other

Printed Sunday, April 2, 2023

Review Group 2025

CULVER J BARTON

Ownership
 CULVER J BARTON
 PO BOX 294
 NORTH WEBSTER, IN 46555

Legal

5-9-3
 TR,NW NE & PT SE 3-33-7 20.87A PER SURVEY



Valuation Records (Work In Progress values are not certified values and are subject to change)

Assessment Year	Reason For Change	2021	2022	2023	2024	2025
2023	WIP	AA	AA	AA	AA	AA
02/24/2023	As Of Date	01/01/2023	01/01/2022	01/01/2023	01/01/2020	01/01/2019
Indiana Cost Mod	Valuation Method	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod
1.0000	Equalization Factor	1.0000	1.0000	1.0000	1.0000	1.0000
	Notice Required	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
\$7,300	Land	\$7,300	\$5,800	\$5,000	\$19,200	\$23,400
\$0	Land Res (1)	\$0	\$0	\$0	\$0	\$0
\$7,300	Land Non Res (2)	\$7,300	\$5,800	\$5,000	\$19,200	\$23,400
\$0	Land Non Res (3)	\$0	\$0	\$0	\$0	\$0
\$0	Improvement	\$0	\$0	\$0	\$0	\$0
\$0	Imp Res (1)	\$0	\$0	\$0	\$0	\$0
\$0	Imp Non Res (2)	\$0	\$0	\$0	\$0	\$0
\$0	Imp Non Res (3)	\$0	\$0	\$0	\$0	\$0
\$7,300	Total	\$7,300	\$5,800	\$5,000	\$19,200	\$23,400
\$0	Total Res (1)	\$0	\$0	\$0	\$0	\$0
\$7,300	Total Non Res (2)	\$7,300	\$5,800	\$5,000	\$19,200	\$23,400
\$0	Total Non Res (3)	\$0	\$0	\$0	\$0	\$0

Land Data (Standard Depth: Res 120', CI 120' Base Lot: Res 0' X 0', CI 0' X 0')

Land Pricing Method ID	Soil	Act Front.	Size	Factor	Rate	Adj. Rate	Ext. Value	Infl. %	Res Market Elig %	Factor	Value
5	A	MSB	0	0.4300	0.81	\$1,900	\$1,539	-60%	0%	1.0000	\$260
5	A	MSD	0	0.3200	0.60	\$1,900	\$1,140	-60%	0%	1.0000	\$150
5	A	RLB	0	0.0600	0.98	\$1,900	\$1,862	-60%	0%	1.0000	\$40
6	A	ATA	0	1.9400	0.85	\$1,900	\$1,615	-80%	0%	1.0000	\$630
6	A	BC	0	1.4600	1.19	\$1,900	\$2,261	-80%	0%	1.0000	\$660
6	A	CRB	0	1.5700	1.02	\$1,900	\$1,938	-80%	0%	1.0000	\$610
6	A	MSD	0	0.7700	0.60	\$1,900	\$1,140	-80%	0%	1.0000	\$180
6	A	RLB	0	8.7300	0.98	\$1,900	\$1,862	-80%	0%	1.0000	\$3,250
6	A	RXB	0	5.3300	0.72	\$1,900	\$1,368	-80%	0%	1.0000	\$1,460
6	A	RXC	0	0.2100	0.64	\$1,900	\$1,216	-80%	0%	1.0000	\$50
82	A		0	0.0500	1.00	\$1,900	\$1,900	-100%	0%	1.0000	\$00

Appraiser

Collector

Data Source N/A

E 800 N

100, Vacant Land

Transfer of Ownership

Date
 06/26/1998
 06/10/1998
 01/01/1900
Owner
 CULVER J BARTON
 SURVEY
 HERR PHILLIP E & KI
Doc ID
 0
Code
 NA
Book/Page
 /
Adj Sale Price
 \$0
Price
 \$0
VI
 I
WD/
 WD
I
 I

TIPPECANOE TWP ACREA

Notes

7/2/2020 REA: 2021 CORRECTED LAND TYPES PER BEACON & AG LNAV REPORT

1/2

Land Computations

Calculated Acreage	20.87
Actual Frontage	0
Developer Discount	<input type="checkbox"/>
Parcel Acreage	20.87
81 Legal Drain NV	0.00
82 Public Roads NV	0.05
83 UT Towers NV	0.00
9 Homesite	0.00
91/92 Acres	0.00
Total Acres Farmland	20.82
Farmland Value	\$7,290
Measured Acreage	20.82
Avg Farmland Value/Acre	350
Value of Farmland	\$7,290
Classified Total	\$0
Farm / Classified Value	\$7,300
Homesite(s) Value	\$0
91/92 Value	\$0
Supp. Page Land Value	\$0
CAP 1 Value	\$0
CAP 2 Value	\$7,300
CAP 3 Value	\$0
Total Value	\$7,300

COUNTY INFORMATION

TRACTS 3 & 4

43-08-03-100-009.000-023
General Information
Parcel Number
 43-08-03-100-009.000-023
Local Parcel Number
 0572600346

CULVER J BARTON
Ownership
 CULVER J BARTON
 PO BOX 294
 NORTH WEBSTER, IN 46555

7581 E 800 N
Transfer of Ownership
Date 02/14/1994
Owner CULVER J BARTON

429, Other Retail Structures
Doc ID 0
Code WD
Book/Page /
Adj Sale Price \$0

COMM TIPPY ON 13/51871
Notes
 11/10/2016 2016: CHANGED FREESTANDING DECK TO CAP 3
 8/10/2016 REA: 2017 CHANGED TRUCK RAMP TO PAVING, REMEASURED PAVING, ADDED DECK AT WATER

Tax ID:
 5-9-2,88
 WPT,W FRCL,NE 3-33-7 23.88A

Routing Number
 005-009-002.BB

1/13/2009 BP: 94237 3/29/94 ADDED COMM BLDG 100% COMPLETE
 000751 7/5/2000 WAREHOUSE ADDITION
 1/13/2009 COMM: BART'S WATER SPORTS



Commercial

Valuation Records (Work In Progress values are not certified values and are subject to change)

Year: 2023	Assessment Year	Reason For Change	2023	2022	2021	2020	2019
02/24/2023	WIP						
As Of Date	01/01/2023	AA	AA	AA	AA	AA	AA
Valuation Method	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod	Indiana Cost Mod
Equalization Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Notice Required							
Land			\$225,900	\$220,000	\$216,800	\$216,500	\$216,800
Land Res (1)			\$0	\$0	\$0	\$0	\$0
Land Non Res (2)			\$28,200	\$22,300	\$19,100	\$19,000	\$23,200
Land Non Res (3)			\$197,700	\$197,700	\$197,700	\$197,500	\$193,600
Improvement			\$629,400	\$629,400	\$664,500	\$642,600	\$636,400
Imp Res (1)			\$0	\$0	\$0	\$0	\$0
Imp Non Res (2)			\$0	\$0	\$0	\$0	\$0
Imp Non Res (3)			\$629,400	\$629,400	\$664,500	\$642,600	\$636,400
Total			\$855,300	\$849,400	\$781,300	\$859,100	\$853,200
Total Res (1)			\$0	\$0	\$0	\$0	\$0
Total Non Res (2)			\$28,200	\$22,300	\$19,100	\$19,000	\$23,200
Total Non Res (3)			\$827,100	\$827,100	\$762,200	\$840,100	\$830,000

Land Data (Standard Depth: Res 120', CI 120' Base Lot: Res 0' X 0', CI 0' X 0')

Land Pricing Soil Type Method ID	Act Front.	Size Factor	Rate	Adj. Rate	Ext. Value	Infl. %	Res Market Elig %	Factor	Value
11 A	0	2.0000	\$46,000	\$46,000	\$92,000	0%	1.3970	0%	\$128,520
13 A	0	1.5000	\$33,000	\$33,000	\$49,500	0%	1.3970	0%	\$69,150
4 A	0	0.2000	\$1,900	\$1,368	\$274	0%	1.0000	0%	\$270
4 A	0	6.3100	\$1,900	\$1,691	\$10,670	0%	1.0000	0%	\$10,670
4 A	0	5.9900	\$1,900	\$1,862	\$11,153	0%	1.0000	0%	\$11,150
4 A	0	2.7900	\$1,900	\$1,615	\$4,506	0%	1.0000	0%	\$4,510
6 A	0	1.2000	\$1,900	\$1,615	\$1,938	-80%	1.0000	0%	\$390
6 A	0	1.5600	\$1,900	\$1,862	\$2,905	-80%	1.0000	0%	\$580
6 A	0	0.1300	\$1,900	\$1,368	\$178	-80%	1.0000	0%	\$40
72 A	0	1.0700	\$1,900	\$950	\$1,017	-40%	1.0000	0%	\$610
82 A	0	1.1300	\$1,900	\$1,368	\$1,546	-100%	1.0000	0%	\$00

Land Computations	Value
Calculated Acreage	23.88
Actual Frontage	0
Developer Discount	
Parcel Acreage	23.88
81 Legal Drain NV	0.00
82 Public Roads NV	1.13
83 UT Towers NV	0.00
9 Homesite	0.00
91/92 Acres	0.00
Total Acres Farmland	22.75
Farmland Value	\$28,220
Measured Acreage	19.25
Avg Farmland Value/Acre	1466
Value of Farmland	\$33,350
Classified Total	\$0
Farm / Classified Value	\$33,400
Homesite(s) Value	\$0
91/92 Value	\$0
Supp. Page Land Value	\$0
CAP 1 Value	\$28,200
CAP 2 Value	\$197,700
CAP 3 Value	\$225,900
Total Value	\$225,900

Characteristics
Flood Hazard
 Level, Rolling
Public Utilities
 Gas, Electricity
Streets or Roads
 TIF
Neighborhood Life Cycle Stage
 Other
 Printed Sunday, April 2, 2023
Review Group 2025
Data Source N/A
Collector
Appraiser

COUNTY INFORMATION

TRACTS 3 & 4

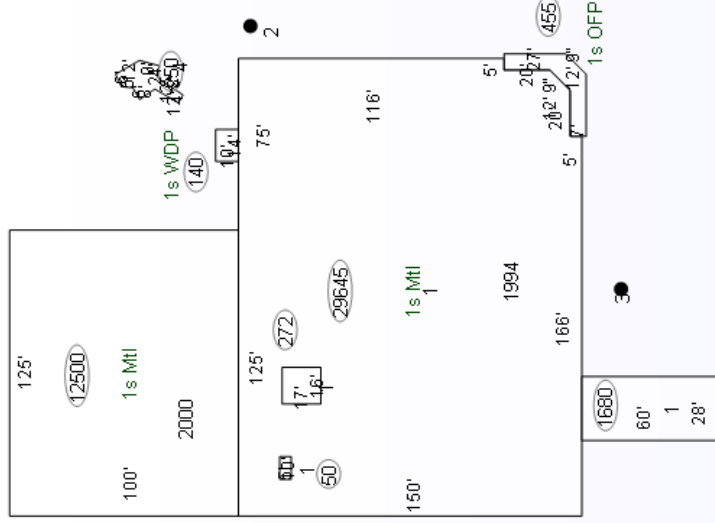
43-08-03-100-009.000-023 CULVER J BARTON

General Information	
Occupancy	C/I Building General Retail
Description	C/I Building C 01 Pre. Framing Fire Resistant
Story Height	1 Pre. Finish Unfinished
Type	N/A # of Units 0
Wall Type	SB B 1 U
Heating	1: 1(895')
A/C	42145 sqft
Sprinkler	5353 sqft

Plumbing RES/CI		Roofing	
#	TF	#	TF
Full Bath	0	0	0
Half Bath	0	0	0
Kitchen Sinks	0	0	0
Water Heaters	0	0	0
Add Fixtures	0	0	0
Total	0	0	0

Exterior Features	
Description	Value
Porch, Open Frame	\$15,000
Patio, Treated Pine	\$800

7581 E 800 N



429, Other Retail Structures

Pricing Key		Floor/Use Computations	
Use	UTLSTOR	GENRET	GENOFF
Use Area	36792 sqft	3072 sqft	2281 sqft
Area Not in Use	0 sqft	0 sqft	0 sqft
Use %	87.3%	7.3%	5.4%
Eff Perimeter	895'	895'	895'
PAR	2	2	2
# of Units / AC	0	0	0
Avg Unit sz/dpth	-1	-1	-1
Floor	1	1	1
Wall Height	18'	18'	18'

Base Rate	\$27.32	\$53.34	\$74.47
Frame Adj	\$0.00	\$0.00	\$0.00
Wall Height Adj	\$1.08	\$2.28	\$6.18
Dock Floor	\$0.00	\$0.00	\$0.00
Roof Deck	\$0.00	\$0.00	\$0.00
Adj Base Rate	\$28.40	\$55.62	\$80.65
BPA Factor	1.00	1.00	1.00
Sub Total (rate)	\$28.40	\$55.62	\$80.65
Interior Finish	\$0.00	(\$4.18)	\$0.00
Partitions	(\$0.42)	(\$3.68)	(\$4.78)
Heating	\$0.00	\$0.00	\$0.00
A/C	\$0.00	\$0.00	\$0.00
Sprinkler	\$0.00	\$0.00	\$0.00
Lighting	\$0.00	\$0.00	\$0.00
Unit Finish/SR	\$0.00	\$0.00	\$0.00
GCK Adj.	\$0.00	\$0.00	\$0.00
S.F. Price	\$27.98	\$47.76	\$75.87
Sub-Total	\$0.00	\$0.00	\$0.00
Unit Cost	\$0.00	\$0.00	\$0.00
Elevated Floor	\$0.00	\$0.00	\$0.00
Total (Use)	\$1,029,518	\$146,719	\$173,053

Building Computations	
Sub-Total (all floors)	Value
Racquetball/Squash	\$0
Theater Balcony	\$0
Plumbing	\$14,400
Other Plumbing	\$2,600
Special Features	\$17,745
Exterior Features	\$15,800
Sub-Total (building)	\$1,399,834
Quality (Grade)	\$1
Location Multiplier	0.92
Repl. Cost New	\$901,493

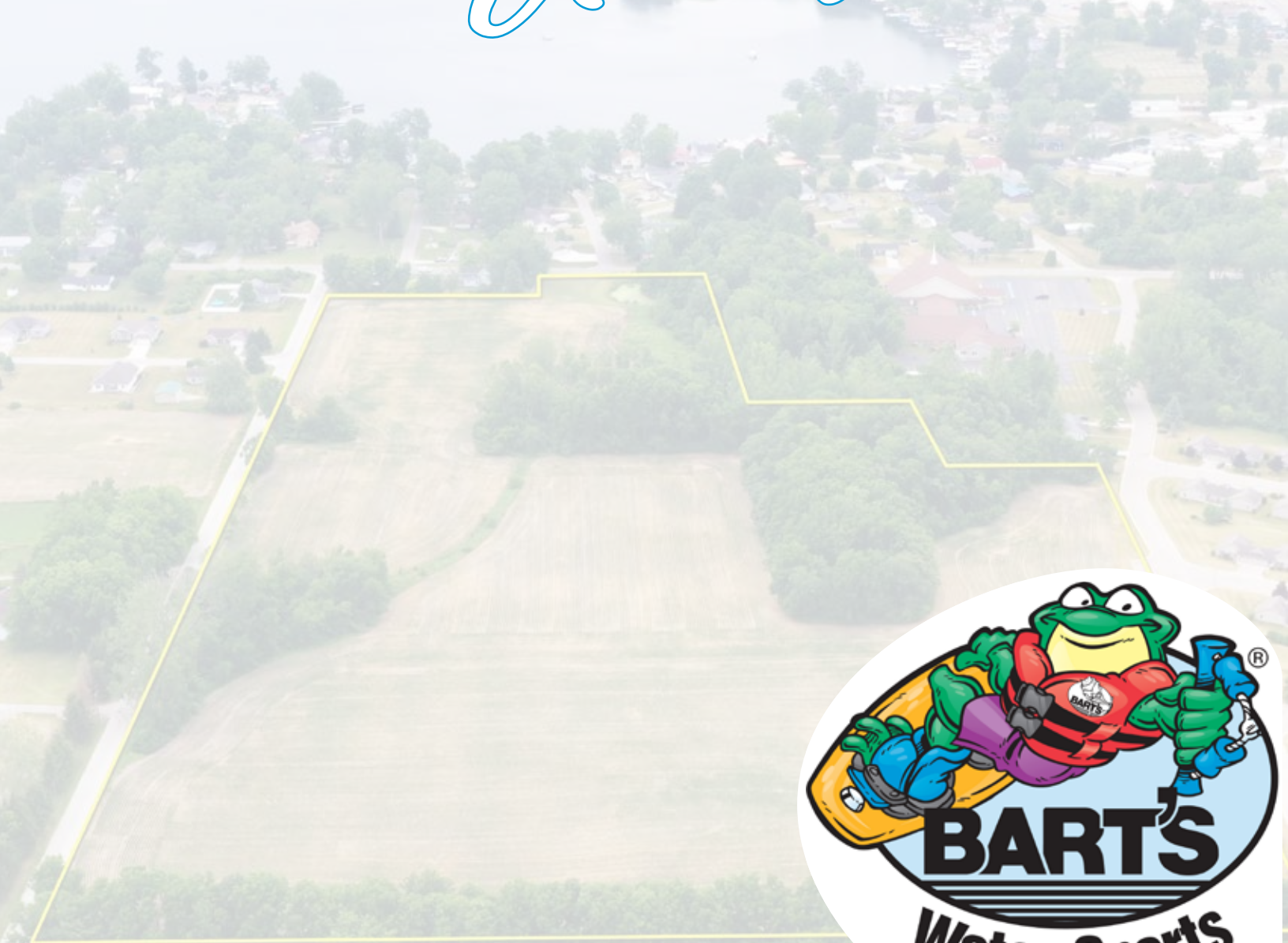
Special Features		Other Plumbing	
Description	Value	Description	Value
Mezz 272sqft	\$3,400	2 x Ref Wat Cooler	\$2600
Mezz 50sqft	\$625		
DF, TWR 120' 1680sqft	\$13,720		

Summary of Improvements

Description	Res Eligibl	Story Height	Construction	Grade	Year Built	Eff Age	Co nd	Base Rate	LCM	RCN	Size	Norm Dep	Remain. Value	Abn Obs	PC Nbhd	Mrkt	Improv Value
1: C/I Building C 01	0%	1	Metal	D-1	1994	1996	27 A	\$3.80	0.92	\$901,493	42,145 sqft	52%	\$432,720	0%	100%	1,4000	\$605,800
2: Paving	0%	1	Concrete	C	1994	1994	29 A	\$2.57	0.92	\$2,461	704 sqft	80%	\$490	0%	100%	1,4000	\$700
3: Paving C 01	0%	1	Asphalt	C	1994	1994	29 A	\$2.36	0.92	\$67,187	28,416 sqft	80%	\$13,440	0%	100%	1,4000	\$18,800
4: Wood Deck (free standi	0%	1		C	1994	1994	29 A	\$2.36	0.92	\$3,864	250 sqft	24%	\$2,940	0%	100%	1,4000	\$4,100



Utilities



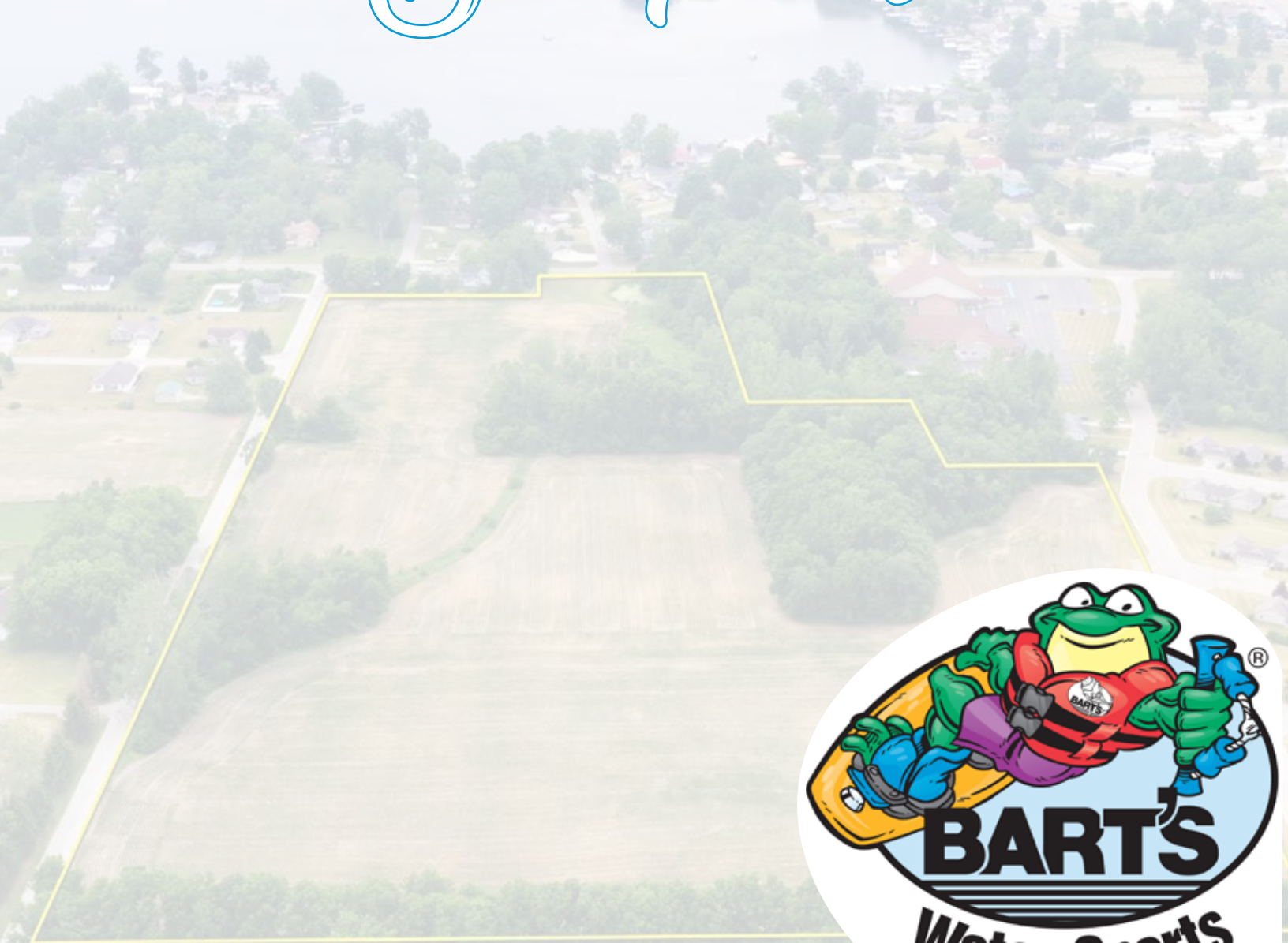
UTILITIES

TRACT 1: Electric and Gas Utilities available. City Sewer is available. Single-family rate is \$64/month for sanitary sewer and wastewater sewer points (flat rate). For Commercial/Industrial uses please contact North Webster Public Works at (574) 834-7894

TRACTS 2-4: Electric Available. That 4 is Well and Septic



Blueprints

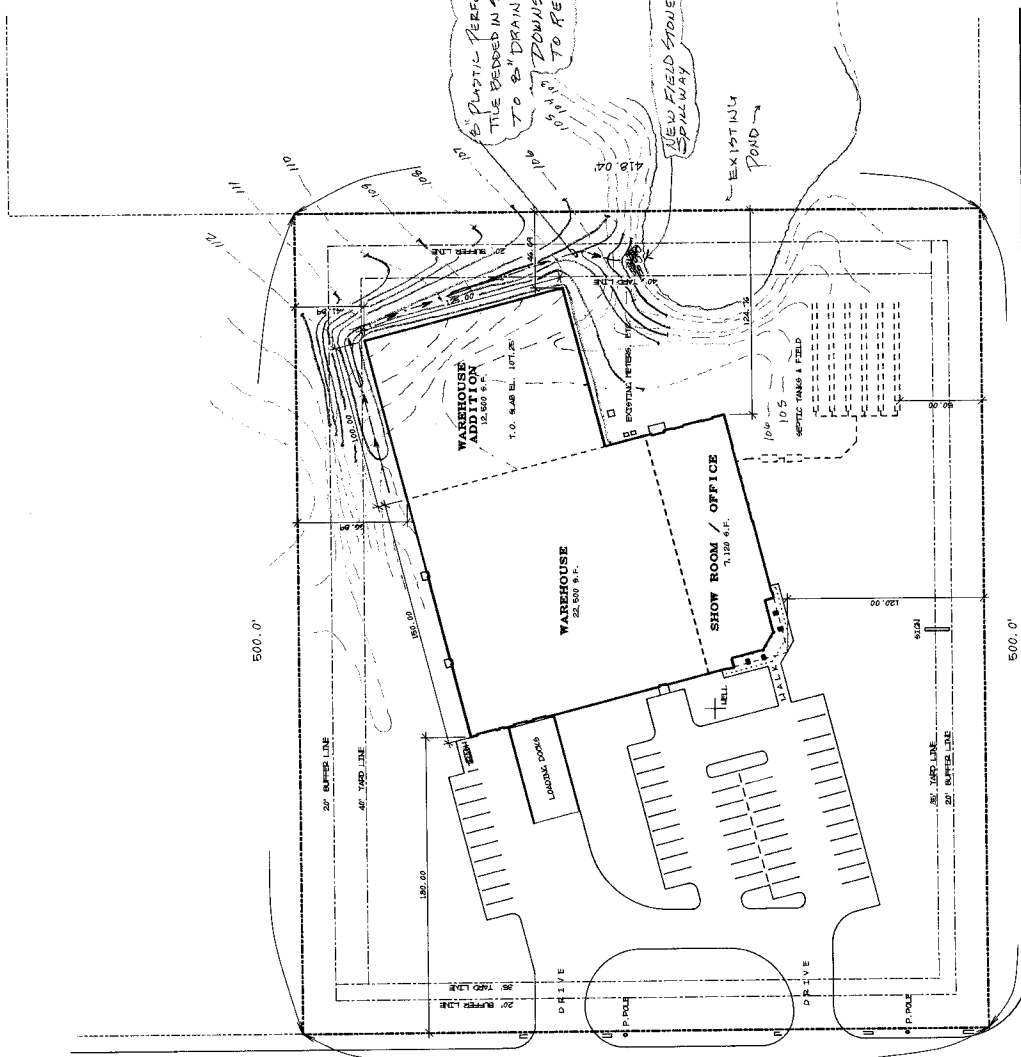


BLUEPRINTS

TRACT 4

GENERAL NOTES :

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND THE REQUIREMENTS STATED HEREIN. SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. PRE-ENGINEERED METAL BUILDING SYSTEMS AS MANUFACTURED BY: AMERICAN BUILDINGS COMPANY INDIANA FACTORY PLAN APPROVAL NUMBER: H-190859
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND THE REQUIREMENTS STATED HEREIN. SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
4. IN WORKS IN WHICH CERTAIN RELATIONSHIPS ARE ESTABLISHED BETWEEN THE ARCHITECT AND THE CONTRACTOR, THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, LABOR, AND FIXTURES AND ACCESSORIES REQUIRED TO BUILD THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
5. THE DIMENSIONS GIVEN ON THE DRAWINGS ARE FOR THE PURPOSE OF INDICATING THE LOCATION AND SIZE OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, LABOR, AND FIXTURES AND ACCESSORIES REQUIRED TO BUILD THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.



Index to Drawings:

Sheet #	Description
1	Site Plan
2	Overall Building Plan
3	Addition Foundation Plan
4	Addition Floor Plan
5	Building Elevations
6	Typical Wall Section
7	HVAC Plan
8	Electrical Plan
6	Specification

REGISTERED ARCHITECT
S. E. LEMAN, JR.
No. 4403
STATE OF INDIANA
APPROVED
6/17/2000

Samuel E. Lemans, Jr.
IN Lic. # AR00004443

Addition / Warehouse Expansion to the
Bart's Water Ski Center Building
 7541 - 7621 E. 800 North
 North Webster, Indiana

MILESTONE CONSTRUCTION, INC.
 2775 E. Buhler Ct. - Syracuse, IN (317) 556-6555

A Design / Build Project
 Conceived By:

With:
Sam E. Lemans, Jr. - Architect
 7791 E. Charokee Road
 Syracuse, IN 46577
 (317) 497-8550

Site Plan, General Notes
 Sheet # **1** of 8
 15 June 2000
 Revisions

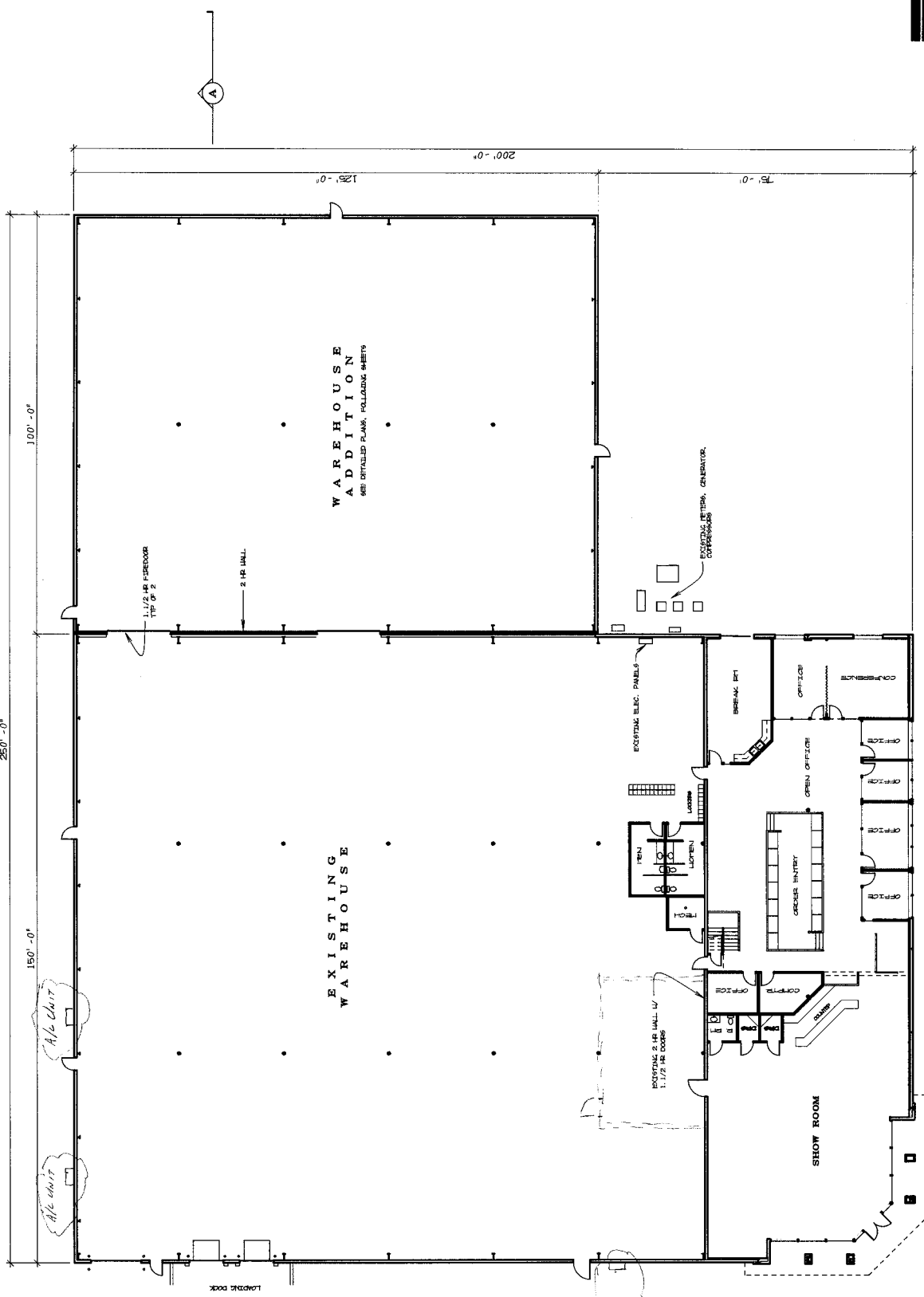


S I T E P L A N
 S C A L E : 1" = 50' - 0"

TOWNSHIP: TIPPECANOE
 SECTION: 5

BLUEPRINTS

TRACT 4



Bart's Water Ski Norm Webster, Indiana	
Floor Plan (Overall)	Sheet #
15 June 00	2
Revisions	of
9/17/00	8



OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"



BLUEPRINTS

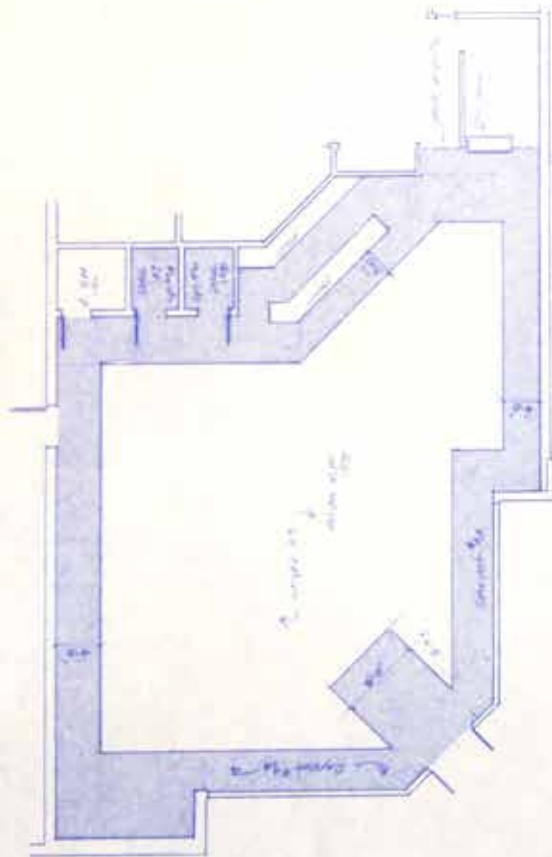
TRACT 4

DATE	11.15.04
BY	...
CHECKED	...
DATE	...
SCALE	...
JOB NO.	...
SHEET	...

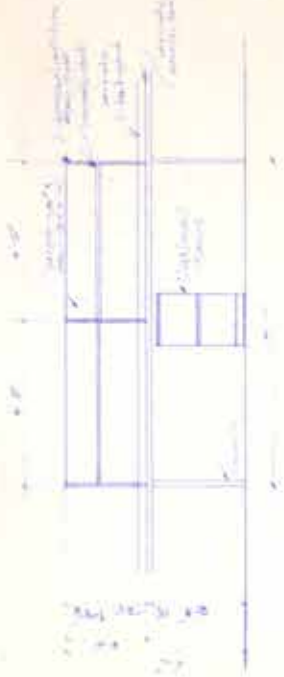
DRAFTS WATER SPLIT
10000 WATER

MILESTONE
CONSTRUCTION, INC.

DATE	11.15.04
BY	...
CHECKED	...
DATE	...
SCALE	...
JOB NO.	...
SHEET	...



ACCEPT: [Signature]
DATE: 11/15/04




▲ DRAFTS OFFICE/CONF. RM
CAREY CLARKE

BLUEPRINTS

TRACT 4

REVISION	BY
1	8.25.88
2	8.25.88
3	8.25.88
4	8.25.88
5	8.25.88
6	8.25.88
7	8.25.88
8	8.25.88
9	8.25.88
10	8.25.88



MILESTONE
CONSTRUCTION, INC.

2778 E. Bucher Dr.
 Syracuse, NY 14667
 (219) 658-9355
 (219) 232-2495

DATE	SCALE	JOB NO.	SHEET
8.25.88	1/8" = 1'-0"		4/15
SHEET			

PAINISH SCHEDULE

Room #	Room Name	Floor	Wall	Ceiling		Notes
				Material	Finish	
101	warehouse	con	---	---	---	
102	main rm	1st	vinyl	pt	pt	
103	women's rm	1st	vinyl	pt	pt	
104	mechanical	---	---	---	---	
105	storeroom	1st	wood	pt	pt	
106	rest room	1st	vinyl	pt	pt	
107	dressing room	1st	wood	pt	pt	
108	dressing room	1st	wood	pt	pt	
109	open office	1st	wood	pt	pt	
110	storeroom	1st	wood	pt	pt	
111	break room	1st	wood	pt	pt	
112	open office	1st	wood	pt	pt	
113	conference	1st	wood	pt	pt	
114	Julia's office	1st	wood	pt	pt	
115	Steve's office	1st	wood	pt	pt	
116	Judy's office	1st	wood	pt	pt	
117	Mike's office	1st	wood	pt	pt	
118	office	1st	wood	pt	pt	
119	computer	1st	vinyl	pt	pt	
120	mess office	1st	wood	pt	pt	

- GENERAL NOTES TO FINISH SCHEDULE**
- CARPET 1 TO BE PRECISION COMMERCIAL CARPETS "PRESTIGE" COLOR 290 SINCH (1,2 AND 3 INDUSTRIES, INC.)
 - CARPET 14 TO BE SELECTED, LEVEL LOOP SOLID GREEN.
 - CARPET 2 TO BE SELECTED, OBT. FILL COMMERCIAL QUALITY PAPER WELT; COLOR TANS TO MATCH CARPET 1.
 - CEILING A TO BE ARMYSTRONG SECOND LOOK IS 12" x 12" SCORED PAT-TURN.
 - CEILING B TO BE ARMYSTRONG GLACIER.
 - VCT TO BE ARMYSTRONG COMMERCIAL ESSENTIALS COLOR #137 SAND-DRIFF 12" x 12" GAUGE, 1/8"
 - VINYL BASE TO BE SELECTED.
 - ALL PAINTED WALL SURFACES TO BE BENJAMIN MOORE COLOR #372.

BLUEPRINTS

TRACT 4

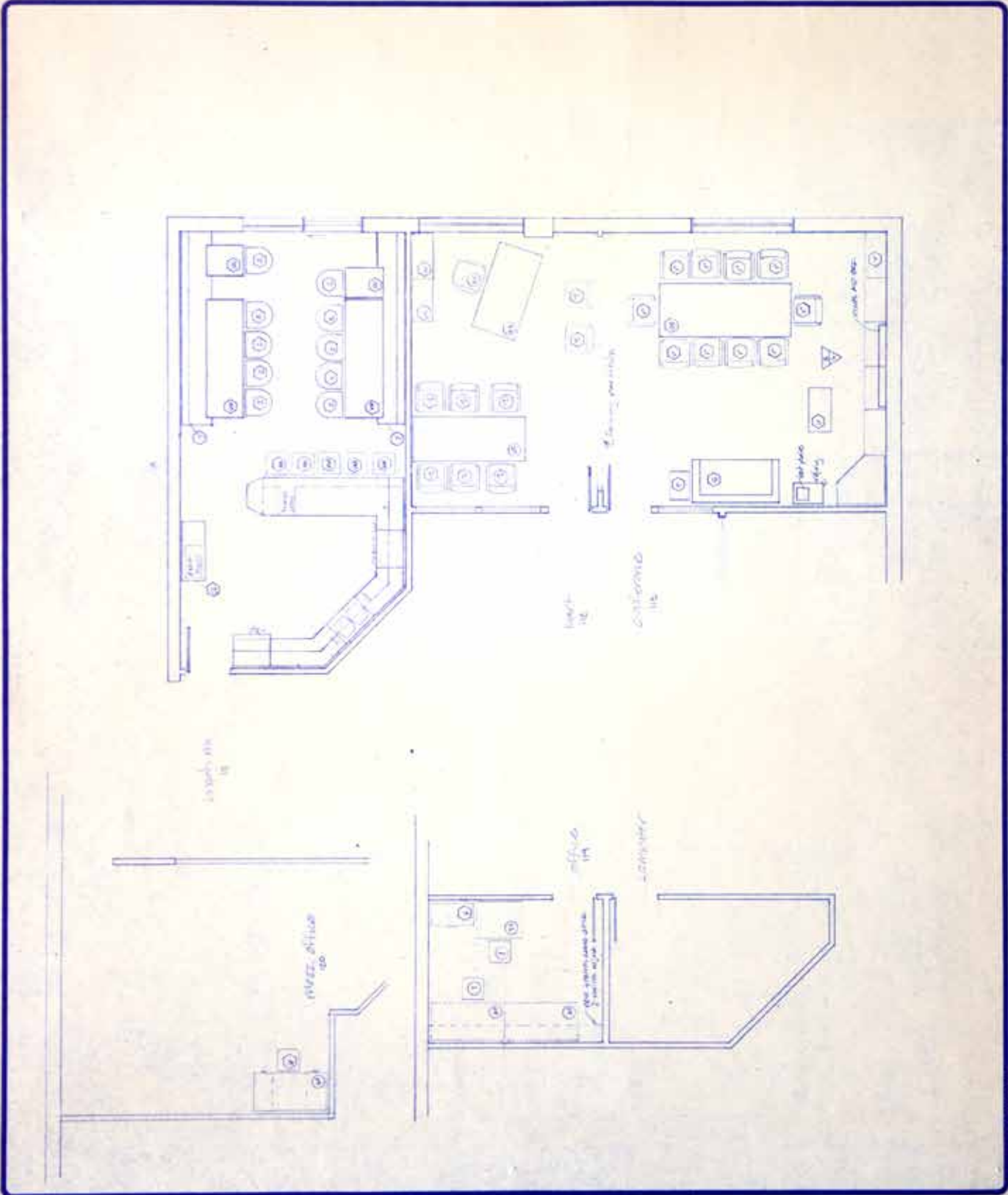
NO.	REVISIONS	BY

MILESTONE
CONSTRUCTION, INC.

2773 E. Bucher Dr.
 Syracuse, IN 46007
 (219) 668-8985
 (219) 292-2489

EAST'S WYERSKI
 NORTH WEBSTER IN

DRAWN	DATE
CHECKED	SCALE
	JOB NO.
	SHEET
	2/5



BLUEPRINTS

TRACT 4

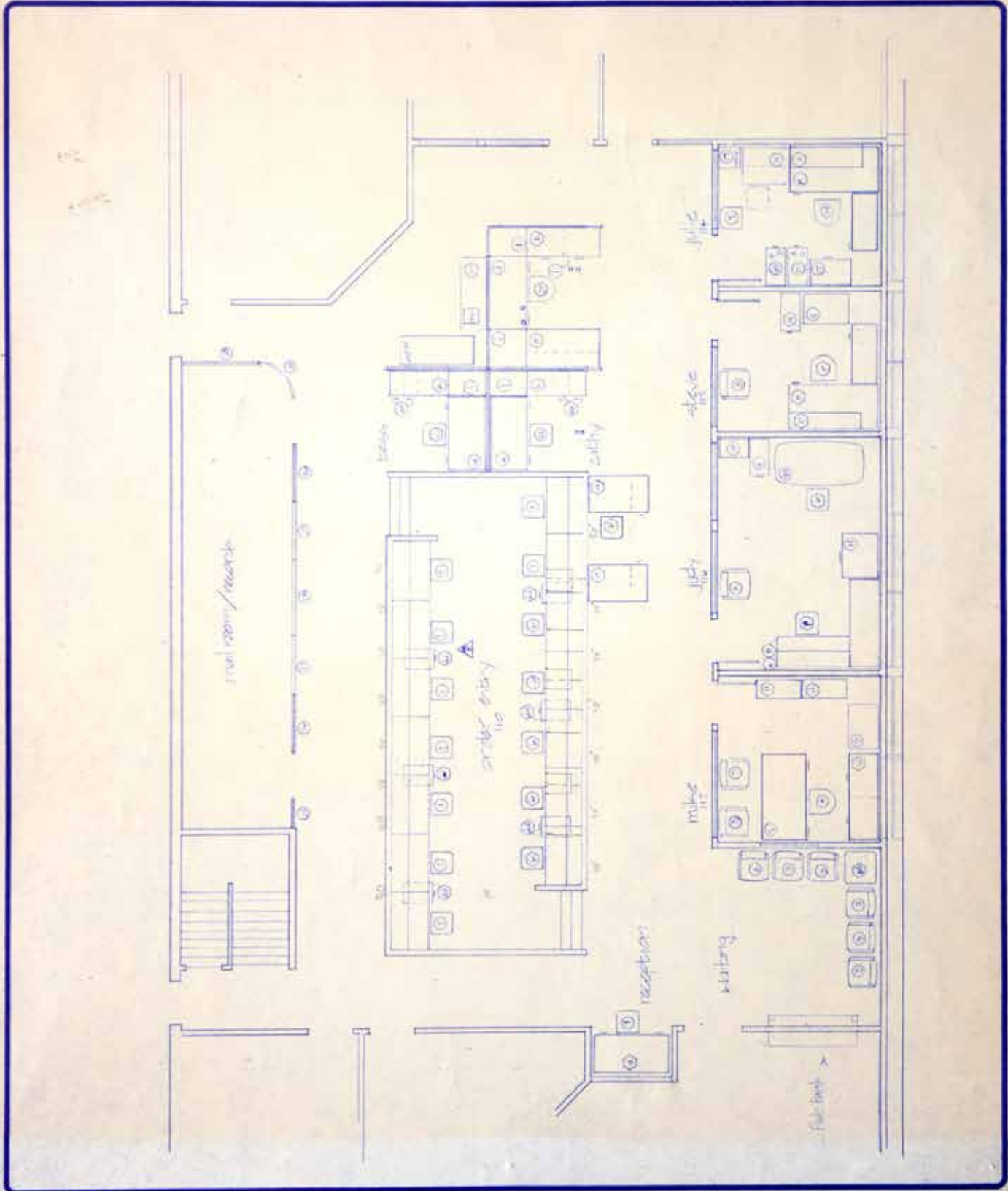
REVISIONS	BY


MILESTONE
CONSTRUCTION, INC.

2773 E. Buher Dr.
 Syracuse, IN 45567
 (219) 658-9355
 (219) 232-2488

DATA ON
WATER
SEWER
IN

DRAWN <i>DM</i>	CHECKED <i>DM</i>
DATE <i>5/14/10</i>	SCALE <i>1/4" = 1'-0"</i>
JOB NO. <i>1000000000</i>	SHEET <i>1/5</i>
SHEETS <i>5</i>	SHEETS



BLUEPRINTS

TRACT 4

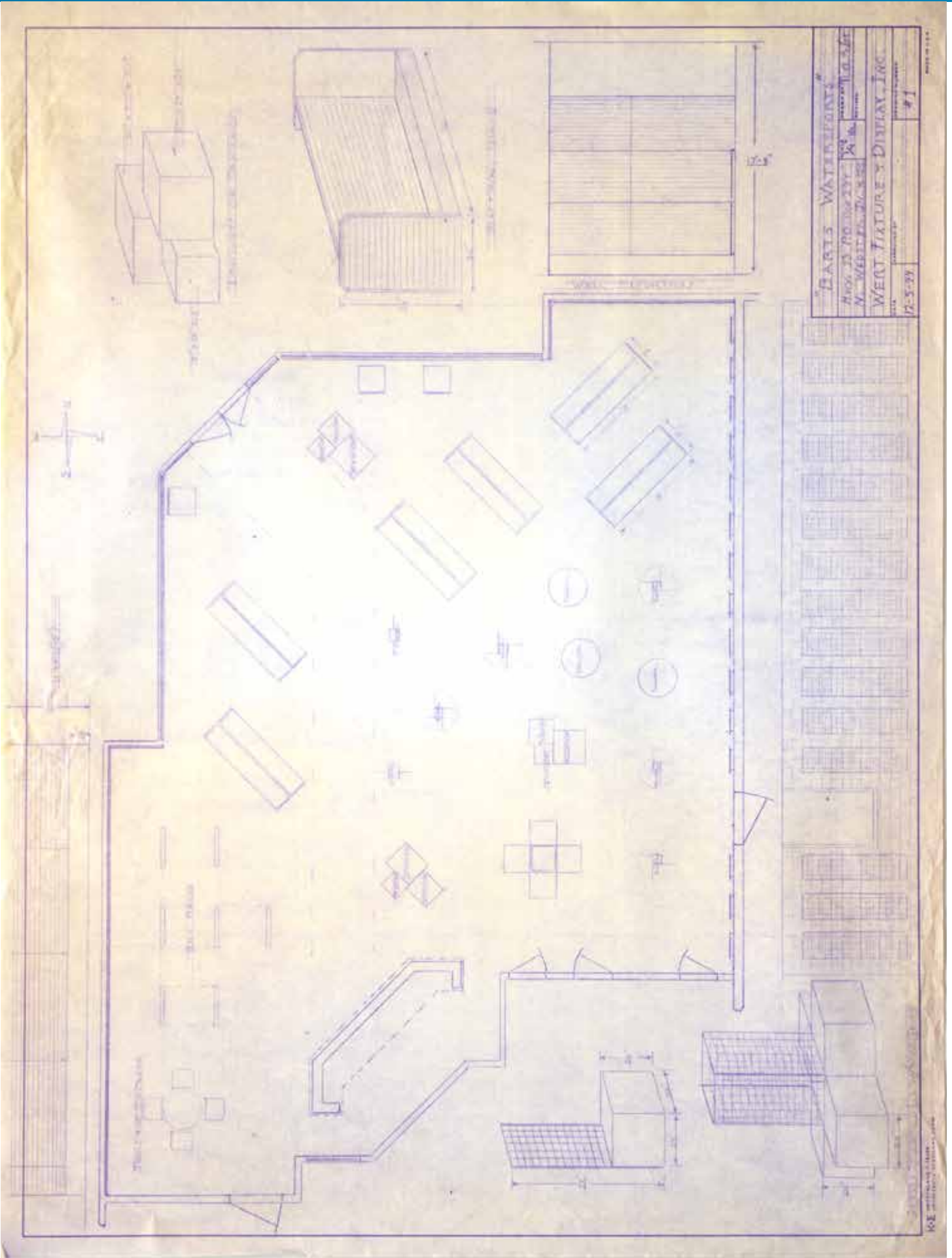


Barry Water Ski Centre	
PROJECT NO.	100-100
DATE	5-11-71
SITE PLANING / PAID	
SCALE	1" = 20' - 0" (1/2")
S-1	

**MILESTONE**
CONSTRUCTION, INC.

BLUEPRINTS

TRACT 4

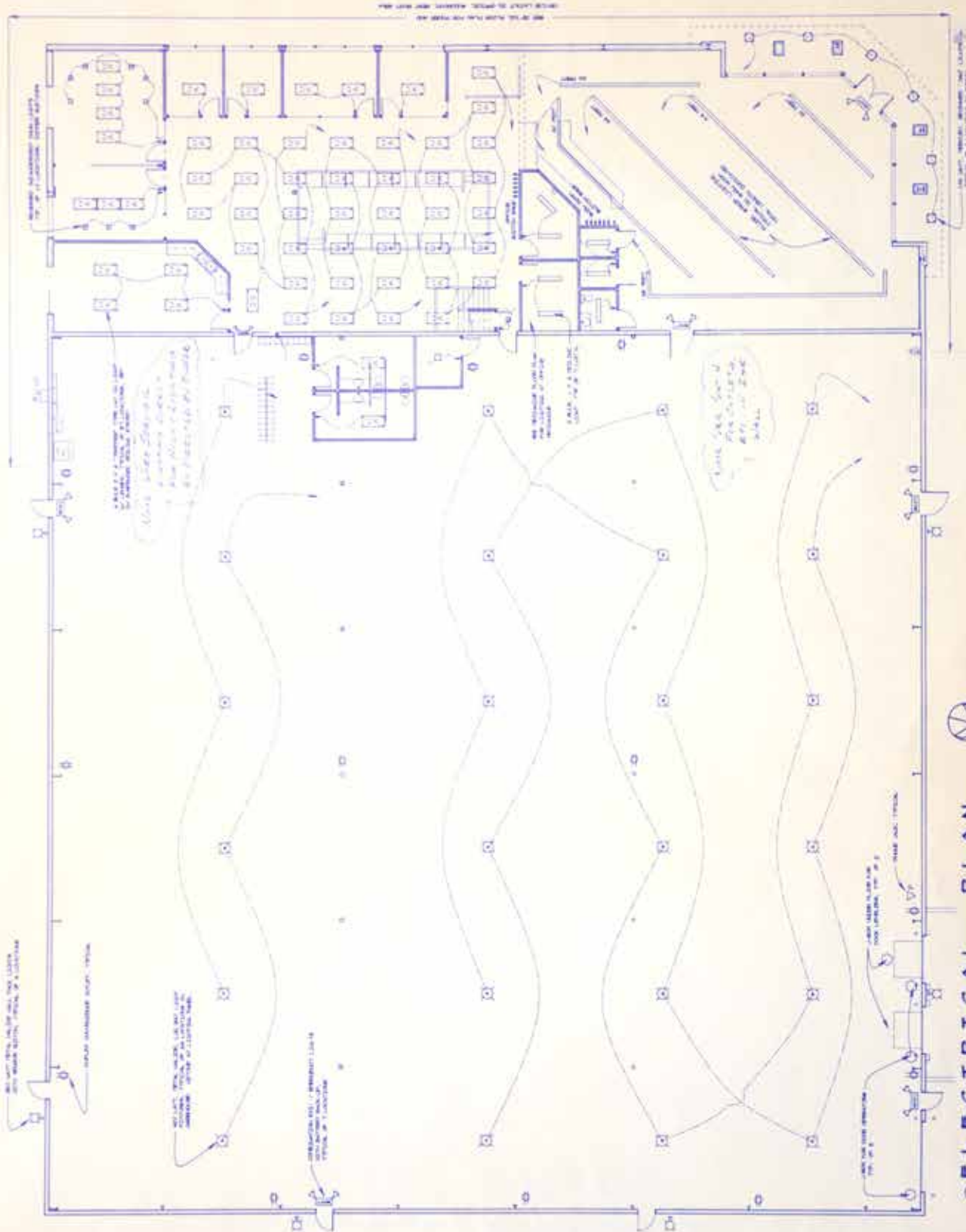


BLUEPRINTS

TRACT 4



Bart's Water Ski North Webster, Indiana	
Electrical Plan	Sheet #
15, May '64	10
Permitted	11/1/77
	of 11

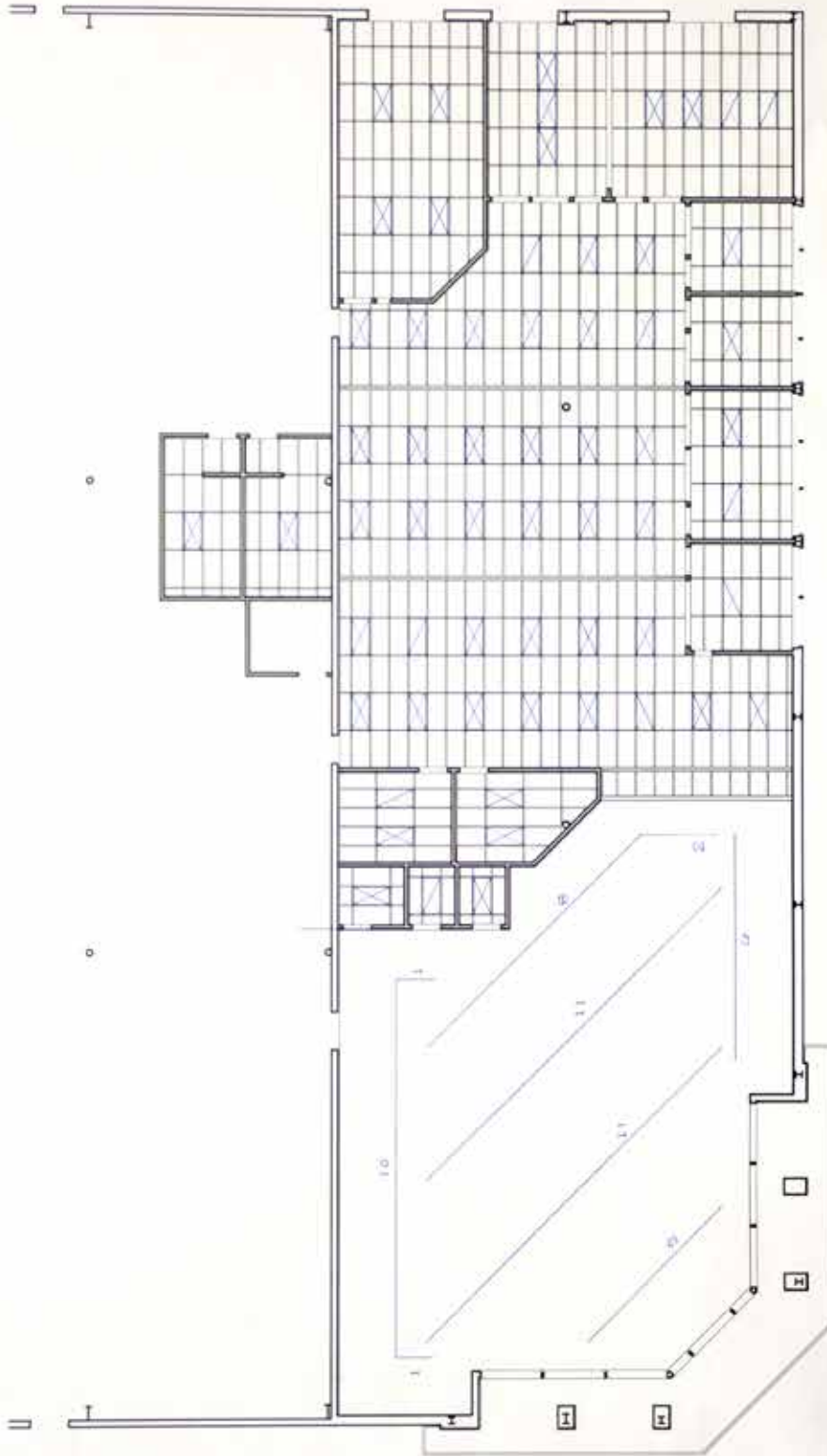


ELECTRICAL PLAN

SCALE: 3/8\"/>

BLUEPRINTS

TRACT 4



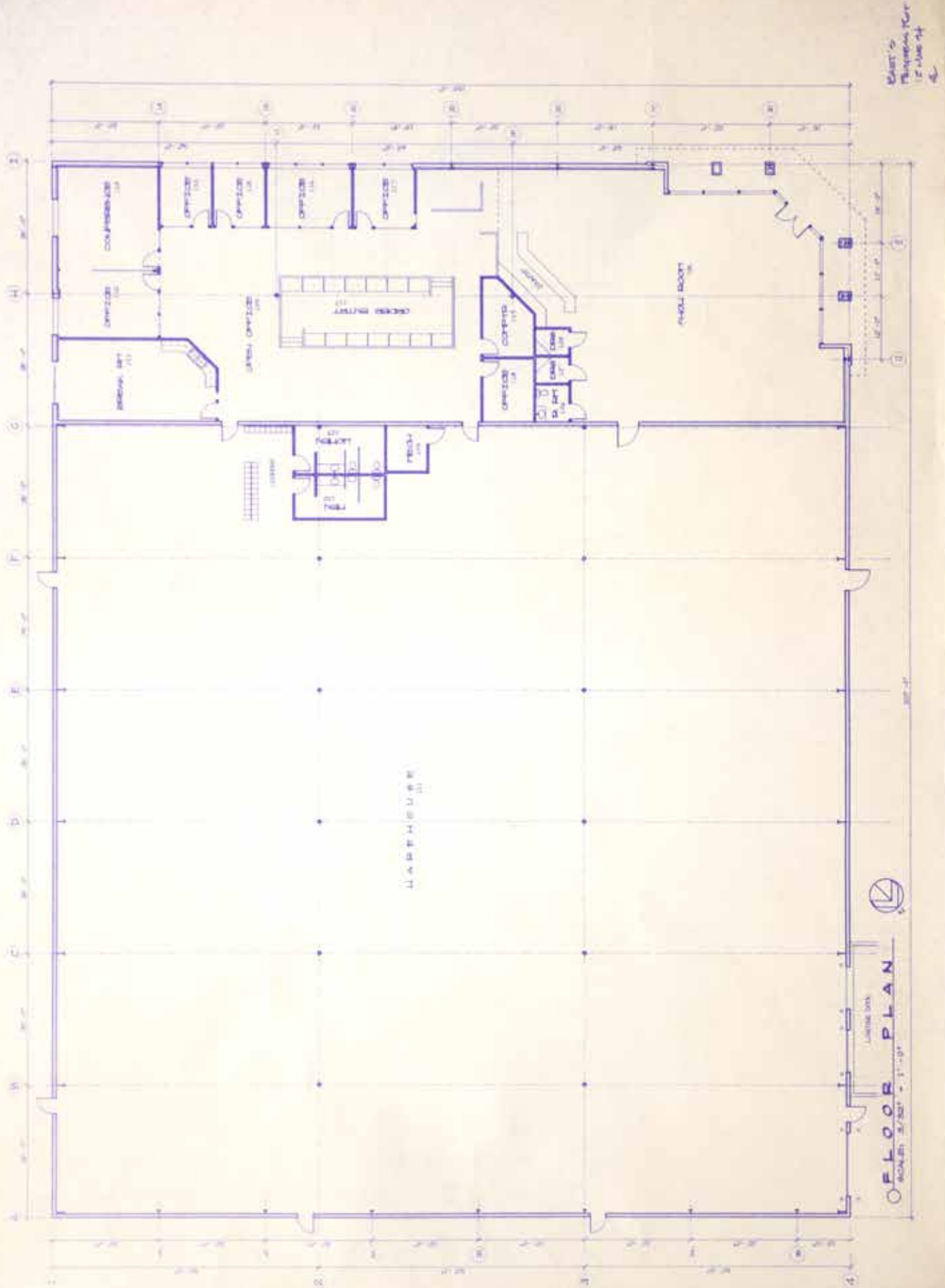
60 4616 2x4 lay-ins

55 2616 x 4 stripe

BART'S - PRELIM LIGHTING LAYOUT
12 MAR 91

BLUEPRINTS

TRACT 4



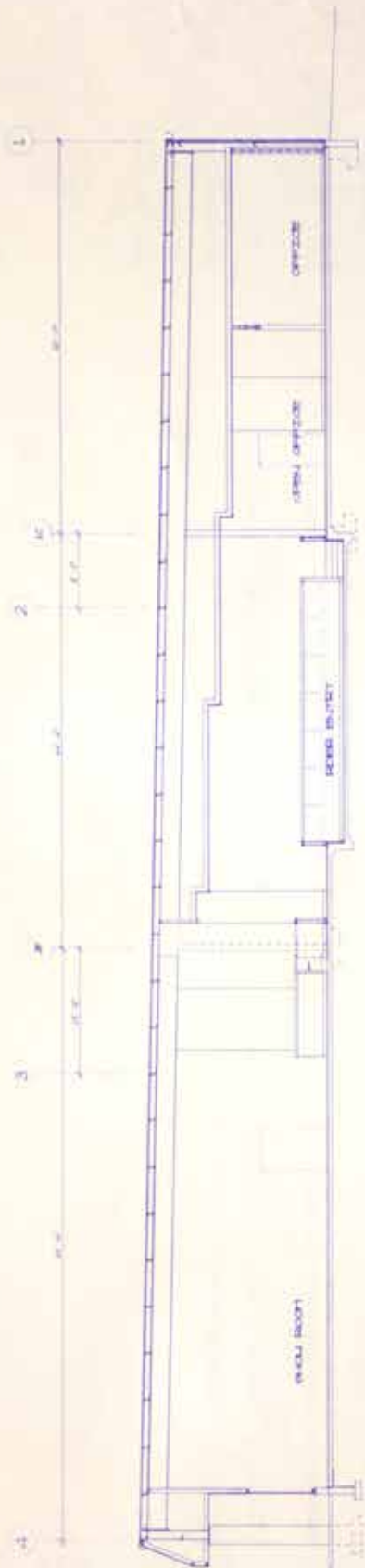
DATE: 5/20/04
PROJECT: 11-04



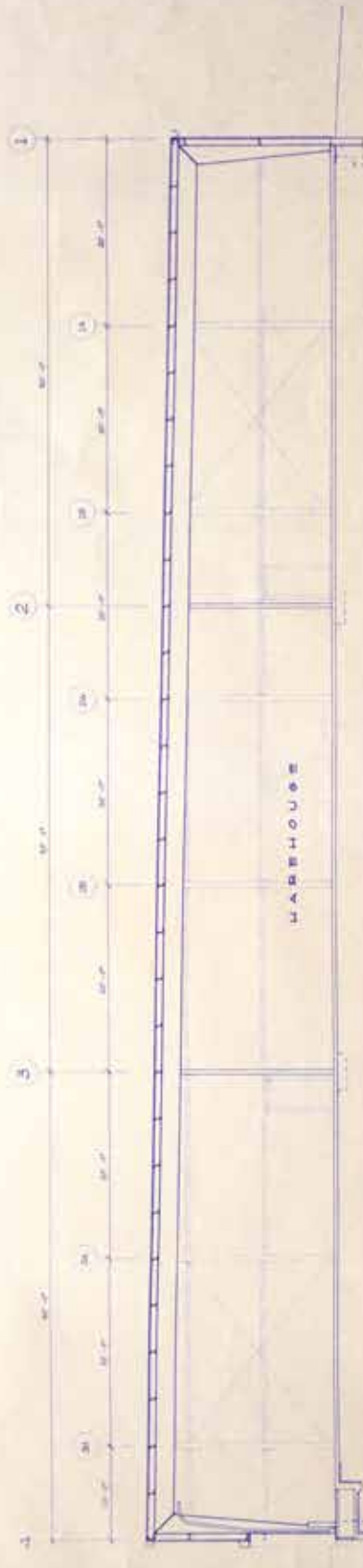
FLOOR PLAN
SCALE: 1/8" = 1'-0"

BLUEPRINTS

TRACT 4



BUILDING SECTION A-A
SCALE: 1/8" = 1'-0"

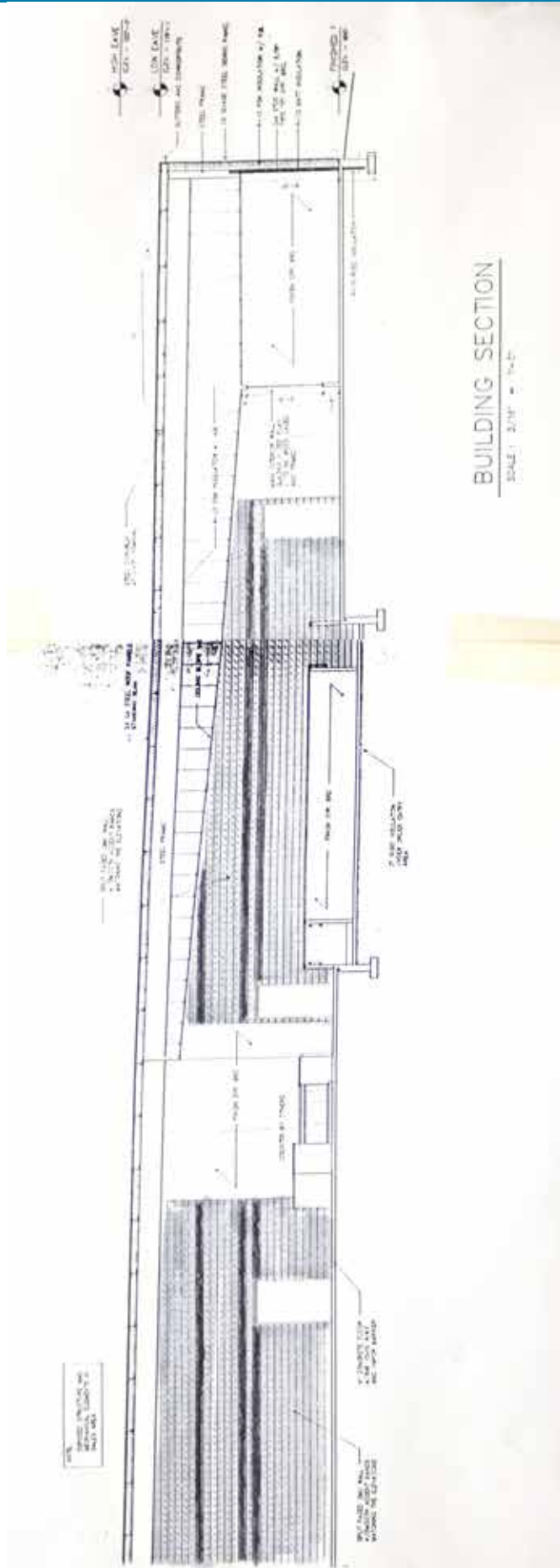


BUILDING SECTION B-B
SCALE: 1/8" = 1'-0"

BLUPTS
Program #27
12-1-64 14

BLUEPRINTS

TRACT 4





Personal Property

Included with Tract 4



PERSONAL PROPERTY INCLUDED WITH TRACT 4

Non-Inventory Items

- New Website 2021
- (20) File Cabinets
- (4) Storage Cabinets
- Shelving Store
- Shelving Warehouse
- Shelving Office/Computer Room
- Warehouse Cart
- Safe
- (17) Office Chairs
- (11) Desks
- Outdoor Sign
- Camera and Lighting Equipment
- Photo Area/Photo Wall
- Ski/Wakeboard Racks
- Store Racks
- (4) TV's
- Security Camera System
- Alarm System
- SUP Racks
- Shower Room
- Frog Waterfall
- Warehouse Expansion
- Surf Shack Expansion
- (15) Furnaces
(5 Office / 10 Warehouse)
- (8) AC Units
(5 Office / 3 Warehouse)
- (5) Pallet Jacks
- 4 Shipping Stations
- Sello Baler
- (2) Billboard Signs
(South of NW and North of Syracuse both on SR13)
- Grill & Tank
- Tent/Canopy
- Genrac Generator
- Shop Laptop
- Water Softner
- (3) Digital Scanners Store
- (7) Digital Scanners Warehouse
- (2) Chargelogic Pin Pads
- (2) Epson Store Printers
- Meraki Firewall 2021
- Meraki Full Building Wifi 2021
- (21) Windows 10 Computers
- Dell Server 2019
- (11) Network Printers
- Starr Printer
- Connie Printer
- Lisa Printer
- Mac Server
- (9) Phones
- (2) Cordless Phones
- Fax Machine
- Mac Computer
- (3) Cisco Switches
- Seagate Hardrive
- (2) Cisco Routers
- Store Kiosk
- Vacuum Cleaner
- (2) Microwaves
- (2) Refridgerators
- Oven
- (10) Tables
- (23) Kitchen Chairs
- (20) Lockers
- (10) Ladders
- DVD Player

Preliminary Title



PRELIMINARY TITLE TRACT 1

Cover page for:

Preliminary Title Insurance Schedules

Preliminary title insurance schedules prepared by:

Metropolitan Title of Indiana, LLC

(File Number: 231453A)

Auction Tract 1 (Kosciusko County, Indiana)

For September 5, 2023 auction to be conducted by:

Schrader Real Estate and Auction Company, Inc.

On behalf of:

Bart's Water Ski Center, Inc., et al.

PRELIMINARY TITLE TRACT 1



First American

Schedule A

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 231453A

Transaction Identification Data for reference only:

Issuing Agent: Metropolitan Title of Indiana, LLC

Issuing Office: 9604 Coldwater Road, Fort Wayne, IN
46825

Commitment No.: 231453A

Issuing Office File No.: 231453A

Property Address: Epworth Forest Road, North Webster, IN
46555

Revision:

Printed Date: 07/11/2023

SCHEDULE A

1. Commitment Date: July 03, 2023 8:00 AM
2. Policy to be issued:
 - (A) ALTA Owner's Policy (6-17-06)
Proposed Insured: To Be Determined
Proposed Policy Amount: \$500.00
 - (B) ALTA Loan Policy (6-17-06)
Proposed Insured: TBD - Lender, its successors and/or assigns that are defined as an insured in the Conditions of the policy, as their interests may appear
Proposed Policy Amount: \$500.00

3. The estate or interest in the Land described or referred to in this Commitment is

Fee Simple

4. The Title is, at the Commitment Date, vested in:

Bart's Water Ski Center, Inc.

5. The Land is described as follows:

See Schedule C attached hereto and made a part hereof



Issued By: Metropolitan Title of Indiana, LLC
For questions regarding this commitment contact:
(877)269-7670 or fax to (877)270-0534

9604 Coldwater Road
Fort Wayne, IN 46825

INSURANCE FRAUD WARNING by First American Title Insurance Company: Any person who, with intent to defraud or knowing that he is facilitating a fraud against an insurer, submits an application or files a claim containing a false or deceptive statement is guilty of insurance fraud.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Metropolitan Title of Indiana, LLC, as issuing Agent for First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions.

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PRELIMINARY TITLE TRACT 1



First American

Schedule BI & BII

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 231453A

Commitment No.: 231453A

SCHEDULE B, PART I

Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the interest to the insured, or both, must be properly authorized, executed, acknowledged, proved by a subscribing witness before a notarial officer pursuant to IC 32-21-2-3(a) effective July 1, 2020, and recorded in the Public Records.
5. You must file a Disclosure of Sales Information forms prescribed by the State Board of Tax Commissioners pursuant to I.C. 6-1.1-5.5. The disclosure form must be filed with the county auditor's office prior to recording.
6. You should contact the local municipality to obtain information regarding unpaid sewer and/or municipal assessments that are not a recorded lien against the land. We are not responsible for collecting at closing such unpaid assessments unless otherwise instructed.
7. This commitment is not effective until you provide us with the name of the Proposed Insured(s) and the Policy amount(s). We limit our liability to \$250.00 until you provide us with the Policy Amount(s).
8. Vendor's and/or Mortgagor's Affidavits to be executed at the closing.
9. Effective July 1, 2006, no document executed in the State of Indiana may be accepted for recording unless the document includes the following affirmative statement: "I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law (name)." See Indiana Code 36-2-11-15.
10. By virtue of I.C. 27-7-3.6, a fee of \$5.00 will be collected from the purchaser of the policy for each policy issued in conjunction with a closing occurring on or after July 1, 2006. The fee should be designated in the Closing Disclosure and/or Settlement Statement as TIEFF (Title Insurance Enforcement Fund Fee) Charge.

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PRELIMINARY TITLE TRACT 1



First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 231453A

11. Note: Effective July 1, 2013 Senate Enrolled Act 370 (P.L. 80-2013) requires title insurance companies to charge a fee for closing protection letters in real estate transaction in which the title insurance company or its authorized agent acts as the settlement agent. In a residential transaction, the closing protection letters are mandatory and must be issued to each party. Insurance Company's fee for closing protection letters is \$25 for a seller's letter, \$25 for a buyer's or borrower's letter and \$25 for a lender's letter.
12. Note: Effective July 1, 2009, HEA 1374 (enacting Indiana Code 27-7-3.7) requires Good Funds for real estate transactions. Funds received from any party to the transaction in an amount of \$10,000 or more must be in the forms of an irrevocable wire transfer. Funds received from any party in an amount less than \$10,000 may be in the form irrevocable wire transfer, cashier's check, certified check, check drawn on the escrow account of another closing agent, or check drawn on the trust account of a licensed real estate broker or other forms of Good Funds as referenced in Indiana Code 27-7-3.7. Personal checks may be accepted as provided under Indiana Code 27-7-3.7.
13. Beginning January 1, 2010, the closing agent is required to report to the Indiana Department of Insurance the names and license numbers of certain real estate professionals participating in each residential real estate transaction. The information must be provided to the closing agent on or before the date of closing. See Indiana Code 6-1.1-12-43(e) and 27-7-3-15.5.

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PRELIMINARY TITLE TRACT 1



First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 231453A

Commitment No.: 231453A

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
2. Any discrepancies or conflicts in boundary lines, any shortages in area, or any encroachment or overlapping in improvements.
3. Any facts, rights, interests or claims which are not shown by the Public Record but which could be ascertained by an accurate survey of the Land or by making inquiry of persons in possession of the Land.
4. Easements, liens or encumbrances or claims thereof, which are not shown by the Public Records.
5. Any lien, or right to a lien for services, labor or material imposed by law and not shown by the Public Records.
6. Taxes or special assessments which are not shown as existing liens by the Public Records.

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PRELIMINARY TITLE TRACT 1

7. Real estate taxes assessed for the year 2022 are due in two installments payable May 10, 2023 and November 10, 2023:

Parcel No.: 43-08-10-100-105.000-023
May Installment of \$184.13 PAID
November Installment of \$184.13 UNPAID

Tax Year: Current Year 2022 due 2023

Land:	\$36,400.00
Improvements:	\$0
Homeowners Exemption:	\$0
Mortgage Exemption:	\$0
Supplemental Homestead:	\$0
Other Exemption:	\$0

NOTE: The taxes above are lower if tax exemptions are showing. The taxes above will increase if the seller acquired the property within the last two calendar years, and did not refile any exemptions. Contact the local Assessor if you have any questions about the current status of exemptions and how they will affect taxes payable subsequent to closing.

Taxes for the year 2023 due in May and November, 2024.

8. Submit to the Company a Resolution authorizing the sale of subject real estate and directing the proper officials to execute the deed on behalf of the Bart's Water Ski Center, Inc..
9. Rights of way for drainage tiles, ditches, feeders, laterals, and legal drains and ditches, if any.
10. Rights of the public, the State of Indiana and the municipality in and to that part of the land, if any, taken or used for road purposes, including utility right of way.
11. Notwithstanding any reference to the acreage or quantity of land described on Schedule C, nothing contained herein insures the quantity of land contained within the boundaries of the land described in Schedule C.
12. Minerals or mineral rights or any other subsurface substances (including, without limitation, oil, gas and coal), and all rights incident thereto, now or previously leased, granted, excepted or reserved.

Note: For informational purposes only and same to be omitted from the final policy, when issued:

The following are the vesting deed of record and all of the deeds, if any, affecting the Land recorded within 36 months preceding the Commitment Date hereof:

VESTING DEED:

Grantor:	Estate of Elizabeth B. Baker
Grantee:	Bart's Water Ski Center, Inc.
Date of Recording:	June 29, 1983
Recorded:	Deed Record 300, page 289

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PRELIMINARY TITLE TRACT 1


NOTE: The final Loan Policy will include the following Endorsements upon compliance with the Company's issuing standard:
Restrictions, Encroachments, Minerals - Loan Policy Endorsement (ALTA 9-06)
Environmental Protection Lien Endorsement (ALTA 8.1-06)

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PRELIMINARY TITLE TRACT 1

 <p>Schedule C</p>	<p>ALTA Commitment for Title Insurance</p> <p>Issued by Metropolitan Title of Indiana, LLC as issuing Agent for First American Title Insurance Company</p> <p>File No: 231453A</p>
--	---

Commitment No.: 231453A

The land referred to in this Commitment, situated in the County of Kosciusko, State of Indiana, is described as follows:

A part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, in Tippecanoe Township, Kosciusko County, Indiana, more particularly bounded and described as follows:
Beginning at an iron stake found this survey buried in the surface of County Road 800 East marking the Northeast corner of said Northeast Quarter of Section 10; thence South 00 degrees 00 minutes 00 seconds (assumed bearing) along the East line of said Northeast Quarter, a distance of 1743.19 feet to a railroad spike set this survey in the surface of County Road 800 East and on the Northerly right-of-way line of the Epworth Forest Road; thence North 88 degrees 04 minutes 40 seconds West, along said Northerly right-of-way line a distance of 560.70 feet; thence North 88 degrees 37 minutes 05 seconds West along said Northerly right-of-way line a distance of 767.16 feet to a 1/2 inch x 20 inch iron pipe, set this survey; thence North 00 degrees 10 minutes 59 seconds East along the East line of a tract of land now owned by Jerry Lee Moore and Delores Mae Moore, which tract is described in Deed Record 234, on page 227 in the Office of the Recorder of Kosciusko County, Indiana, a distance of 1737.21 feet to a railroad iron corner post set on the North line of said Northeast Quarter; thence South 88 degrees 38 minutes 35 seconds East along the North line of said Northeast Quarter a distance of 1322.13 feet to the Point of Beginning, said to contain per deed, 52.87 acres, more or less.

LESS AND EXCEPTING THEREFROM, THE FOLLOWING DESCRIBED TRACTS:

EXCEPTION NO. 1:

Part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, Kosciusko County, Indiana, more particularly described as follows, to-wit:
Commencing at the Northeast corner of said Northeast Quarter; thence South 00 degrees 00 minutes 00 seconds East (assumed bearing), on and along the East line of said Northeast Quarter, being within the right -of-way of County Road 800 East, a distance of 1743.19 feet to a railroad spike found at the point of intersection with the Easterly projection of the Northerly right-of-way line of Epworth Forest Road; thence North 88 degrees 04 minutes 40 seconds West, on and along said Easterly projection and on and along said Northerly right-of-way line, a distance of 560.70 feet; thence North 88 degrees 37 minutes 05 seconds West, on and along said Northerly right-of-way line, a distance of 22.16 feet to the true Point of Beginning; thence continuing North 88 degrees 37 minutes 05 seconds West, on and along said Northerly right-of-way line, a distance of 745.0 feet to an iron pipe found; thence North 00 degrees 10 minutes 59 seconds East, on and along the East line of a certain tract of land, as recorded in Deed Record 234, page 227 in the records of Kosciusko County, Indiana, a distance of 584.8 feet; thence South 88 degrees 37 minutes 05 seconds East, a distance of 745.0 feet ;thence South 00 degrees 10 minutes 59 seconds West, a distance of 584.8 fee to the true Point of Beginning and said to contain per deed, 10.000 acres of land, more or less.

EXCEPTION NO. 2:

Part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, Kosciusko County, Indiana, more particularly described as follows, to-wit:
Commencing at an iron pin found marking the Northeast corner of said Northeast Quarter; thence South 00 degrees 00 minutes West (assumed bearing), on and along the East line of said Northeast Quarter, a distance of 1639.19 feet to a

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PRELIMINARY TITLE

TRACT 1

P.K. nail set at the true Point of Beginning; thence continuing South 00 degrees 00 minutes West, on and along said East line, being within the right-of-way of Hass Hill Road (County Road 800 East), a distance of 104.0 feet to a railroad spike found at the point of intersection with the Easterly projection of the Northerly right-of-way line of Epworth Forest Road; thence North 88 degrees 04 minutes 40 seconds West, on and along said Easterly projection and on and along said Northerly right-of-way line, a distance of 303.0 feet to an iron pin set; thence North 00 degrees 00 minutes East, parallel to said East line, a distance of 104.0 feet to an iron pin set; thence South 88 degrees 04 minutes 40 seconds East, parallel to said Northerly right-of-way line, a distance of 303.0 feet to the true Point of Beginning, said to contain per deed 0.723 acres of land, more or less.

EXCEPTION NO. 3:

A part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, in Tippecanoe Township, Kosciusko County, Indiana, more particularly described as follows:

Beginning at an iron stake in the surface of County Road 800 East marking the Northeast corner of said Northeast Quarter of Section 10; thence West 00 degrees South, 949.63 feet to the true Place of Beginning; thence continuing West, 00 degrees South 372.5 feet to a point; thence South 00 degrees East, 1153.21 feet to a point; thence East, 00 degrees North 372.5 feet to a point; thence North 00 degrees West, 1153.21 feet to the Place of Beginning, said to contain per deed 10 acres, more or less.

EXCEPTION NO. 4:

Part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, Kosciusko County, Indiana, more particularly described as follows, to-wit:

Commencing at an iron pin found at the Northeast corner of said Northeast Quarter; thence North 88 degrees 36 minutes 15 seconds West (recorded West 00 degrees South), on and along the North line of said Northeast Quarter, a distance of 949.63 feet to an iron pin at the Northeast corner of a certain 9.860 acre tract of land as recorded in Document Number 98-04-0621 in the records of Kosciusko County, Indiana; thence South 00 degrees 10 minutes 59 seconds West, on and along the East line of said 9.860 acre tract of land, a distance of 1078.21 feet to an iron pin at the true Point of Beginning; thence continuing South 00 degrees 10 minutes 59 seconds West, on and along said East line, a distance of 75.0 feet to an iron pin found at the Southeast corner of said 9.860 acre tract of land, said iron pin being on the North line of a certain 10.000 acre tract of land as recorded in Deed record 339, page 618 in said records; thence South 88 degrees 37 minutes 05 seconds East, on and along said North line, a distance of 135.0 feet to an iron pin; thence North 00 degrees 10 minutes 59 seconds East, a distance of 75.0 feet to an iron pin; thence North 88 degrees 37 minutes 05 seconds West, a distance of 135.0 feet to the true Point of Beginning, said to contain per deed, 0.232 acres of land, more or less.

EXCEPTION NO. 5:

Part of the Northeast Quarter of Section 10, Township 33 North, Range 7 East, Kosciusko County, Indiana, more particularly described as follows, to-wit:

Commencing at an iron pin found at the Northeast corner of said Northeast Quarter; thence North 88 degrees 36 minutes 15 seconds West (recorded West 00 degrees South), on and along the North line of said Northeast Quarter, a distance of 949.63 feet to an iron pin at the Northeast corner of a certain 9.860 acre tract of land as recorded in Document Number 98-04-0621 in the records of Kosciusko County, Indiana; thence South 00 degrees 10 minutes 59 seconds West, on and along the East line of said 9.860 acre tract of land, a distance of 1003.21 feet to an iron pin at the true Point of Beginning; thence continuing South 00 degrees 10 minutes 59 seconds West, on and along said East line, a distance of 75.0 feet to an iron pin, said iron pin being situated North 00 degrees 10 minutes 59 seconds East, a distance of 75.0 feet from an iron pin found at the Southeast corner of said 9.860 acre tract of land; thence South 88 degrees 37 minutes 05 seconds East, a distance of 135.0 feet to an iron pin; thence North 00 degrees 10 minutes 59 seconds East, a distance of 75.0 feet to an iron pin; thence North 88 degrees 37 minutes 05 seconds West, a distance of 135.0 feet to the true Point of Beginning, said to contain per deed 0.232 acres of land, more or less.

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PRELIMINARY TITLE TRACTS 2 – 4

Cover page for:

Preliminary Title Insurance Schedules (with copies of recorded exception documents)

Preliminary title insurance schedules prepared by:

Metropolitan Title of Indiana, LLC

(File Number: 4054-231453)

Auction Tracts 2, 3 & 4 (Kosciusko County, Indiana)

Note: The tract numbers in the preliminary title insurance schedules do not correspond to the auction tract numbers. For purposes of bidding at the auction, and for purposes of the purchase documents, the auction tracts are identified by the tract numbers shown in the auction brochure. The tract numbers are cross-referenced in the table below.

Auction Tract Numbers:	Title Company's Tract Numbers:
Tract 2	TRACT II
Tracts 3 & 4	TRACT I

For September 5, 2023 auction to be conducted by:

Schrader Real Estate and Auction Company, Inc.

On behalf of:

J. Barton Culver, et al.

PRELIMINARY TITLE TRACTS 2 – 4



First American

Schedule A

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 4054-231453

Transaction Identification Data for reference only:

Issuing Agent: Metropolitan Title of Indiana, LLC

Issuing Office: 9604 Coldwater Road, Fort Wayne, IN 46825

Commitment No.: 4054-231453

Issuing Office File No.: 4054-231453

Property Address: CR 800 N, North Webster, IN 46555

Revision:

Printed Date: 07/11/2023

SCHEDULE A

1. Commitment Date: July 03, 2023 8:00 AM
2. Policy to be issued:
 - (A) ALTA Owner's Policy (6-17-06)
Proposed Insured: To Be Determined
Proposed Policy Amount: \$500.00
 - (B) ALTA Loan Policy (6-17-06)
Proposed Insured: TBD - Lender, its successors and/or assigns as defined in the Conditions of the policy, as their interests may appear.
Proposed Policy Amount: \$500.00
3. The estate or interest in the Land described or referred to in this Commitment is


Fee Simple

4. The Title is, at the Commitment Date, vested in:

J. Barton Culver

5. The Land is described as follows:

See Schedule C attached hereto and made a part hereof


METROPOLITAN TITLE
Issued By: Metropolitan Title of Indiana, LLC
For questions regarding this commitment contact;
(877)269-7670 or fax to (877)270-0534
9604 Coldwater Road
Fort Wayne, IN 46825

INSURANCE FRAUD WARNING by First American Title Insurance Company: Any person who, with intent to defraud or knowing that he is facilitating a fraud against an insurer, submits an application or files a claim containing a false or deceptive statement is guilty of insurance fraud.

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PRELIMINARY TITLE TRACTS 2 – 4



First American

Schedule BI & BII

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 4054-231453

Commitment No.: 4054-231453

SCHEDULE B, PART I

Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the interest to the insured, or both, must be properly authorized, executed, acknowledged, proved by a subscribing witness before a notarial officer pursuant to IC 32-21-2-3(a) effective July 1, 2020, and recorded in the Public Records.
5. You must file a Disclosure of Sales Information forms prescribed by the State Board of Tax Commissioners pursuant to I.C. 6-1.1-5.5. The disclosure form must be filed with the county auditor's office prior to recording.
6. You should contact the local municipality to obtain information regarding unpaid sewer and/or municipal assessments that are not a recorded lien against the land. We are not responsible for collecting at closing such unpaid assessments unless otherwise instructed.
7. This commitment is not effective until you provide us with the name of the Proposed Insured(s) and the Policy amount(s). We limit our liability to \$250.00 until you provide us with the Policy Amount(s).
8. Vendor's and/or Mortgagor's Affidavits to be executed at the closing.
9. Effective July 1, 2006, no document executed in the State of Indiana may be accepted for recording unless the document includes the following affirmative statement: "I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law (name)." See Indiana Code 36-2-11-15.
10. By virtue of I.C. 27-7-3.6, a fee of \$5.00 will be collected from the purchaser of the policy for each policy issued in conjunction with a closing occurring on or after July 1, 2006. The fee should be designated in the Closing Disclosure and/or Settlement Statement as TIEFF (Title Insurance Enforcement Fund Fee) Charge.

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PRELIMINARY TITLE TRACTS 2 – 4



First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 4054-231453

11. Note: Effective July 1, 2013 Senate Enrolled Act 370 (P.L. 80-2013) requires title insurance companies to charge a fee for closing protection letters in real estate transaction in which the title insurance company or its authorized agent acts as the settlement agent. In a residential transaction, the closing protection letters are mandatory and must be issued to each party. Insurance Company's fee for closing protection letters is \$25 for a seller's letter, \$25 for a buyer's or borrower's letter and \$25 for a lender's letter.
12. Note: Effective July 1, 2009, HEA 1374 (enacting Indiana Code 27-7-3.7) requires Good Funds for real estate transactions. Funds received from any party to the transaction in an amount of \$10,000 or more must be in the forms of an irrevocable wire transfer. Funds received from any party in an amount less than \$10,000 may be in the form irrevocable wire transfer, cashier's check, certified check, check drawn on the escrow account of another closing agent, or check drawn on the trust account of a licensed real estate broker or other forms of Good Funds as referenced in Indiana Code 27-7-3.7. Personal checks may be accepted as provided under Indiana Code 27-7-3.7.
13. Beginning January 1, 2010, the closing agent is required to report to the Indiana Department of Insurance the names and license numbers of certain real estate professionals participating in each residential real estate transaction. The information must be provided to the closing agent on or before the date of closing. See Indiana Code 6-1.1-12-43(e) and 27-7-3-15.5.

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PRELIMINARY TITLE TRACTS 2 – 4



First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

Issued by

Metropolitan Title of Indiana, LLC

as issuing Agent for First American Title Insurance Company

File No: 4054-231453

Commitment No.: 4054-231453

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
2. Any discrepancies or conflicts in boundary lines, any shortages in area, or any encroachment or overlapping in improvements.
3. Any facts, rights, interests or claims which are not shown by the Public Record but which could be ascertained by an accurate survey of the Land or by making inquiry of persons in possession of the Land.
4. Easements, liens or encumbrances or claims thereof, which are not shown by the Public Records.
5. Any lien, or right to a lien for services, labor or material imposed by law and not shown by the Public Records.
6. Taxes or special assessments which are not shown as existing liens by the Public Records.

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PRELIMINARY TITLE TRACTS 2 – 4

7. Real estate taxes assessed for the year 2022 are due in two installments payable May 10, 2023 and November 10, 2023:

Parcel No.: 43-08-03-100-009.000-023 (TRACT I)

May Installment of \$4,296.69 PAID

November Installment of \$4,296.69 UNPAID

Tax Year: Current Year 2022 due 2023

Land: \$220,000.00

Improvements: \$629,400.00

Homeowners Exemption: \$0

Mortgage Exemption: \$0

Supplemental Homestead: \$0

Other Exemption: \$0

NOTE: The taxes above are lower if tax exemptions are showing. The taxes above will increase if the seller acquired the property within the last two calendar years, and did not refile any exemptions. Contact the local Assessor if you have any questions about the current status of exemptions and how they will affect taxes payable subsequent to closing.

Taxes for the year 2023 due in May and November, 2024.

8. Isiah Kuhn Drainage/Ditch Assessment: Parcel No.: 43-08-03-100-009.000-023 For the year: 2023; May installment of \$14.92 PAID; November installment of \$14.92 UNPAID. (TRACT I)

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PRELIMINARY TITLE TRACTS 2 – 4

9. Real estate taxes assessed for the year 2022 are due in two installments payable May 10, 2023 and November 10, 2023:

Parcel No.: 43-08-03-100-841.000-023 (TRACT II)
May Installment of \$29.34 PAID
November Installment of \$29.34 UNPAID

Tax Year: Current Year 2022 due 2023

Land:	\$5,800.00
Improvements:	\$0
Homeowners Exemption:	\$0
Mortgage Exemption:	\$0
Supplemental Homestead:	\$0
Other Exemption:	\$0

NOTE: The taxes above are lower if tax exemptions are showing. The taxes above will increase if the seller acquired the property within the last two calendar years, and did not refile any exemptions. Contact the local Assessor if you have any questions about the current status of exemptions and how they will affect taxes payable subsequent to closing.

Taxes for the year 2023 due in May and November, 2024.

10. Annual assessment for the maintenance of the Isiah Kuhn Ditch due May 10, 2023, in the amount of \$25.00 PAID.
Note: Subsequent assessments as required. (TRACT II)
11. Annual assessment for the maintenance of the Turkey Creek Ditch, shows none due at this time.
Note: Subsequent assessments as required. (TRACT II)
12. Rights of way for drainage tiles, ditches, feeders, laterals, and legal drains and ditches, if any.
13. Rights of the public, the State of Indiana and the municipality in and to that part of the land, if any, taken or used for road purposes, including utility right of way.
14. Easement for utilities and incidental purposes granted to United Telephone Company of Indiana as recorded November 18, 1994 in Instrument No. 94110715. (TRACT I)
15. Notwithstanding any reference to the acreage or quantity of land described on Schedule C, nothing contained herein insures the quantity of land contained within the boundaries of the land described in Schedule C.
16. Minerals or mineral rights or any other subsurface substances (including, without limitation, oil, gas and coal), and all rights incident thereto, now or previously leased, granted, excepted or reserved.

NOTE: Survey recorded in Instrument No. 98061862. (TRACT II)

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PRELIMINARY TITLE TRACTS 2 – 4

Note: For informational purposes only and same to be omitted from the final policy, when issued:

The following are the vesting deed of record and all of the deeds, if any, affecting the Land recorded within 36 months preceding the Commitment Date hereof:

VESTING DEED:

Grantor: Phillip Kern and Gloria Jean Kern, husband and wife
Grantee: J. Barton Culver
Date of Recording: February 18, 1994
Recorded: Instrument No. 94020891 (TRACT I)

Grantor: Phillip E. Herr and Kim Herr, husband and wife
Grantee: J. Barton Culver
Date of Recording: June 10, 1998
Recorded: Instrument No. 98060751 (TRACT II)

NOTE: The final Loan Policy will include the following Endorsements upon compliance with the Company's issuing standard:


Restrictions, Encroachments, Minerals - Loan Policy Endorsement (ALTA 9-06)
Environmental Protection Lien Endorsement (ALTA 8.1-06)

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PRELIMINARY TITLE TRACTS 2 – 4

 <p>Schedule C</p>	<p>ALTA Commitment for Title Insurance</p> <p>Issued by Metropolitan Title of Indiana, LLC as issuing Agent for First American Title Insurance Company</p> <p>File No: 4054-231453</p>
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Commitment No.: 4054-231453

The land referred to in this Commitment, situated in the County of Kosciusko, State of Indiana, is described as follows:

TRACT I:

A part of the West Half (W1/2) of the Northeast Quarter (NE1/4) of Section 3, Township 33 North, Range 7 East, Tippecanoe Township, Kosciusko County, Indiana and being more particularly described as follows, to-wit: Commencing at the Northwest corner of the West Half of the Northeast Quarter of Section 3, Township 33 North, Range 7 East, Tippecanoe Township, Kosciusko County, Indiana (being a found railroad spike); thence running North 89 degrees 57 minutes 36 seconds East (calculated) along the North line of said Northeast Quarter, a distance of 190.86 feet (calculated) (Record 191.0 feet) to a point located on the centerline of State Highway/Road Numbered 13 (being a found railroad spike); thence running South 89 degrees 53 minutes 02 seconds East (calculated) along said North line, a distance of 40.0 feet (calculated and record) to a point located on the East right-of-way line of said State Highway/Road Numbered 13 and the Point of Beginning of this description (being a set P.K. nail); thence continuing South 89 degrees 53 minutes 02 seconds East (calculated) along said North line, a distance of 418.04 feet (calculated) to the Northwest corner of Deed Record 348, Page Numbered 560 as recorded in the Office of the Recorder of Kosciusko County, Indiana (being a found railroad spike); thence running South 0 degrees 01 minutes 01 seconds West (calculated) along the West line of said Deed Record 348, Page Numbered 560, a distance of 500.00 feet (calculated and record) to the Southwest corner of said Deed Record (being a set capped iron rod); thence running South 89 degrees 58 minutes 52 seconds East (calculated) along the South line of said Deed Record 348, Page Numbered 560, a distance of 174.23 feet (calculated) (Record-174.24 feet) to the Southeast corner of said Deed Record 348, Page Numbered 560 (being a found iron rod); thence running South 0 degrees 07 minutes 35 seconds West (calculated), a distance of 1219.69 feet (calculated) (being a set capped iron rod); thence running South 88 degrees 17 minutes 14 seconds West (calculated), a distance of 610.67 feet (calculated) to a point located on the East right-of-way line of said State Highway/Road Numbered 13 (being a set capped iron rod); thence running North 0 degrees 41 minutes 26 seconds East (calculated) along said East right-of-way line of State Highway/Road Numbered 13, a distance of 1738.97 feet (calculated) to the aforementioned Point of Beginning, said to contain per deed 23.88 acres, more or less.

TRACT II:

Part of the Northeast Fractional Quarter of Section 3, together with part of the West Half of the Southeast Quarter of said Section 3, all being in Township 33 North, Range 7 East, Kosciusko County, Indiana, and all together being more particularly described as follows, to-wit: Commencing at a railroad spike found at the Northwest corner of said Northeast Fractional Quarter; thence North 89 degrees 36 minutes East (deed bearing and used as the basis for bearings), on and along the North line of said Northeast Fractional Quarter, a distance of 823.2 feet (recorded 823.4 feet) to a point situated 0.2 feet South of a railroad spike found at the Northwest corner of a certain tract of land as recorded in Deed Record 306, page 188 of the records of Kosciusko County, Indiana, said Northwest corner being the true Point of Beginning; thence continuing North 89 degrees 36 minutes East, on and along the North line of said Northeast Fractional Quarter, a distance of 100.0 feet to a railroad spike; thence South 00 degrees 22 minutes 20 seconds East, a distance of 420.0 feet to an iron pin; thence North 89 degrees 36 minutes East, a distance of 380.12 feet to an iron pin; thence South 00 degrees 22 minutes 20 seconds East, a distance of 1496.58 feet to a wood post found at the Northeast corner of the West Half of the Southeast Quarter of said

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Form 50004718 (8-23-18)	Page 11 of 12	ALTA Commitment for Title Insurance (8-1-16) Indiana
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PRELIMINARY TITLE

TRACTS 2 – 4

Section 3; thence South 01 degrees 15 minutes 10 seconds East, on and along the East line of the West Half of said Southeast Quarter, a distance of 296.0 feet (recorded 308.05 feet) to an iron pin at the Northeast corner of a certain tract of land as recorded in Document Number 96-01-0091 of said records; thence South 86 degrees 59 minutes 20 seconds West, on and along the North line of said tract in Document Number 96-01-0091, being established by an existing line fence, a distance of 487.0 feet to an iron pin found at the Southeast corner of a certain tract of land as recorded in Deed Record 332, page 200 of said records; thence North 00 degrees 02 minutes 40 seconds East, on and along the East line of said tract in Deed Record 332, page 200, a distance of 197.05 feet (recorded 200 feet) to a bed rail post found at the Northeast corner of said tract, also being the Southeast corner of a certain tract of land as recorded in Deed Record 329, page 272, of said records; thence North 00 degrees 15 minutes 35 seconds West, on and along the East line of said tract in Deed Record 329, page 272, a distance of 193.2 feet to an iron pipe found at the Northeast corner of said tract in Deed Record 329, page 272, also being the Southeast corner of a certain tract of land as recorded in Deed Record 347, page 267, of said records; thence North 00 degrees 22 minutes 20 seconds West, on and along the East line of said tract in Deed Record 347, page 267, and on and along the East line of a certain tract of land as recorded in Document Number 94-02-0891 and the Northerly projection of said East line, a distance of 1424.49 feet to an iron pin at the Southwest corner of said tract in Deed Record 306, page 188; thence continuing North 00 degrees 22 minutes 20 seconds West, on and along the West line of said tract in Deed Record 306, page 188, a distance of 420.0 feet to the true Point of Beginning.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Metropolitan Title of Indiana, LLC, as issuing Agent for First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions.

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PRELIMINARY TITLE TRACTS 2 - 4



JOB NUMBER
00003492

EASEMENT

Know all men by these presents, that

NAME J. Barton Culver
STREET 9847 East 600 North
CITY, STATE, ZIP North Webster, Indiana 46555

The Grantor(s)

In consideration of one dollar (\$1.00) and other valuable considerations received to his, her, their satisfaction from UNITED TELEPHONE COMPANY OF INDIANA, THE GRANTEE, an Indiana Corporation and public utility under the laws of the State of Indiana, hereby grant(s) and convey(s) unto said Grantee, its successor(s) and assignee(s) a perpetual alienable commercial utility easement to lay, install, construct, reconstruct, erect, repair, supplement, maintain, operate, and/or remove, at any time or times hereafter, its communications plant and systems including, but not limited to conduits, pedestals, poles, wires, guys, anchors, cables, fixtures, surface monuments, manholes, associated pad or pole mounted electronic equipment and cabinetry, and appurtenances, as it may deem necessary, with the right of ingress to and egress from and over said premises situated in the Township of Tippecanoe, County of Kosciusko, State of Indiana, and being a part of NE Ctr Section(s) 3, Township 33N, Range 7E.

The easement herein granted shall be 20 feet in width and more fully described as follows:

Said easement may be further identified on exhibit "A" attached hereto and by this reference made a part thereof.

JAC
JAC
JAC
CHEMICALS ARE NOT TO BE USED WITH OUT WRITTEN PERMISSION BY GRANTOR.
SAID EASEMENT SHALL REVERT BACK TO GRANTOR AT SUCH TIME SAID EASEMENT IS ABANDONED BY UNITED TELEPHONE COMPANY OF INDIANA, INC.

Grantor(s) claims title to the above described property by virtue of deed recorded in Deed 94-02-0891 of the records of Kosciusko County, Indiana.

The easement and right of way hereby granted includes the perpetual right to cut, trim, and/or otherwise control any trees and/or brush which may endanger the safety of or interfere with the construction and use of said communications plant and systems.

The Grantor(s) herein retain(s) the right to use said lands for any and all other purposes, provided that such use does not interfere with nor impair the exercise of the easement herein granted.

The undersigned Grantors hereby covenants to be the owner in fee simple of said real estate, lawfully seized thereof, with good right to grant and convey said easement herein, and that said real estate is free from all encumbrances, and that Grantors will warrant and defend the title to the said easement against all lawful claims. Grantors warrants that the above-described property as subject of said easement does not contain hazardous materials as defined by federal and state statute or regulation.

The parties hereto agree that the said perpetual easement is conveyed to the said grantee, its successor(s) and assignee(s) and it further is agreed that the foregoing is the entire contract between the parties hereto, and that this written agreement is complete in all its terms and provisions.

In WITNESS WHEREOF, the said Grantor(s) hereunto set their hand(s) this 27th day of October, 1994.

Signature: *J. Barton Culver*
(Grantor)

Signature: _____
(Grantor)

Printed: J. BART CULVER

Printed: _____

PRELIMINARY TITLE TRACTS 2 - 4

STATE OF INDIANA }
Kosciusko County } SS:

Before me, a Notary Public in and for said County, personally appeared the above named J. Barton
Culver who acknowledged that he
did sign the within instrument and that the same is his, her, their free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal this 27th day of Oct. A.D., 1994.

(Signature) Jeanne A. Coldren
(Notary Public)

(Printed) Jeanne A. Coldren

My commission expires: August 11, 1997.
County of residence: Kosciusko



STATE OF INDIANA }
County } SS:

Before me, a Notary Public in and for said County, personally appeared the above named _____
_____ who acknowledged that _____
did sign the within instrument and that the same is _____ free act and deed.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal this _____ day of _____ A.D., 19____.

(Notary Public)

(Printed) _____

My commission expires _____, 19 ____.

This instrument prepared by UNITED TELEPHONE COMPANY LEGAL DEPARTMENT

Duly Entered for Taxation
Subject to Final Acceptance
for Transfer this _____

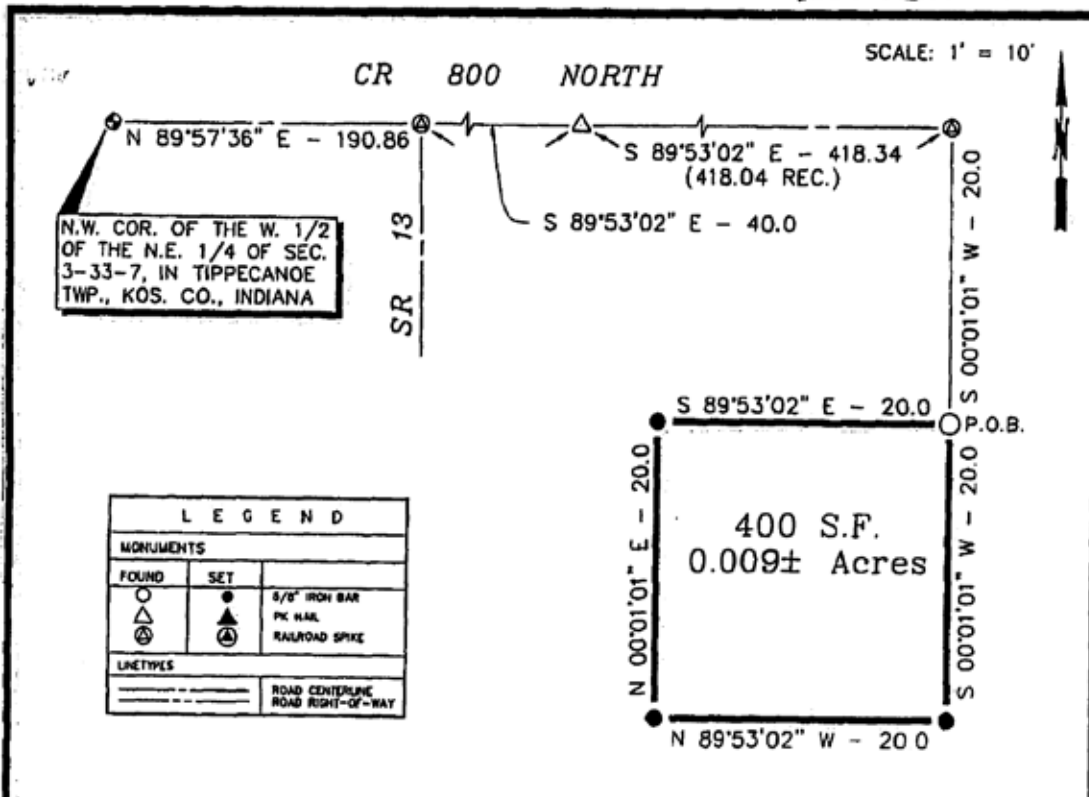
NOV 18 1994

Patricia A. Brown
AUDITOR of KOSCIUSKO COUNTY

94 NOV 18 AM 10 31
ALICE LANGRISH
REGISTER
KOSCIUSKO COUNTY
94-11-0715

PRELIMINARY TITLE TRACTS 2 - 4

EXHIBIT "A"



N.W. COR. OF THE W. 1/2
OF THE N.E. 1/4 OF SEC.
3-33-7, IN TIPPECANOE
TWP., KOS. CO., INDIANA

L E G E N D	
MONUMENTS	
FOUND	SET
○	●
△	▲
⊕	⊙
	5/8" IRON BAR
	P.K. NAIL
	RAILROAD SPIKE
LINETYPES	
---	ROAD CENTERLINE
- - - -	ROAD RIGHT-OF-WAY

LEGAL DESCRIPTION

A tract of land located in the West Half of the Northeast Quarter of Section 3, Township 33 North, Range 7 East, 2nd P.M., Tippecanoe Township, Kosciusko County, Indiana, containing 0.009 acres, more or less, more particularly described as follows:

Commencing at the Northwest corner of the West Half of the Northeast Quarter of said Section 3, said point being on the centerline of County Road 800 North; thence North 89 degrees 57 minutes 36 seconds East, along the North line of said Quarter and along said centerline, 190.86 feet (recorded) to a railroad spike on the centerline of State Highway 13; thence South 89 degrees 53 minutes 02 seconds East, along said North line and along said County Road centerline, 40.00 feet to a P.K. nail; thence continuing South 89 degrees 53 minutes 02 seconds East, along said North line and along said centerline, 418.34 feet (418.04 feet, recorded) to a railroad spike; thence South 00 degrees 01 minute 01 second West, 20.00 feet to a 5/8-inch iron bar on the South right-of-way line of said County Road 800 North and the point of beginning; thence continuing South 00 degrees 01 minute 01 second West 20.00 feet to a 5/8-inch iron bar; thence North 89 degrees 53 minutes 02 seconds West, 20.00 feet to a 5/8-inch iron bar; thence North 00 degree 01 minute 01 second East, 20.00 feet to a 5/8-inch iron bar on said right-of-way line; thence South 89 degrees 53 minutes 02 seconds East, along said right-of-way line, 20.00 feet to the point of beginning.

Subject to all legal highways and easements of record.

SURVEYOR'S REPORT

IN ACCORDANCE WITH TITLE 865, IAC 1-12 ("RULE 12") OF THE INDIANA ADMINISTRATIVE CODE, THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES OF THE LOCATION OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS A RESULT OF: AVAILABILITY AND CONDITION OF REFERENCED MONUMENTS; OCCUPATION OR POSSESSION LINES, CLARITY OR AMBIGUITY OF THE RECORD DESCRIPTION USED AND/OR ADJOURNER'S DESCRIPTIONS, AND THE THEORETICAL UNCERTAINTY OF THE MEASUREMENTS.

- 1 THE THEORETICAL UNCERTAINTY (DUE TO RANDOM ERRORS IN MEASUREMENT) OF THE CORNERS OF THE SUBJECT TRACT ESTABLISHED THIS SURVEY IS WITHIN THE SPECIFICATIONS FOR A CLASS B SURVEY (0.25 FEET)
- 2 EXISTING MONUMENTATION WAS FOUND AS SHOWN

THE TRACT OF LAND SHOWN HEREON IS LOCATED IN A ZONE C DESIGNATED AREA IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NUMBER 18067-0045C, DATED FEBRUARY 4, 1987

I HEREBY CERTIFY THAT THIS SURVEY WAS PERFORMED TOTALLY UNDER MY DIRECT SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, WAS EXECUTED ACCORDING TO THE INDIANA SURVEY STANDARDS OUTLINED IN INDIANA ADMINISTRATIVE CODE 865 IAC 1-12, ("RULE 12") OF THE INDIANA ADMINISTRATIVE CODE.

Larry R. Long
LARRY R. LONG
INDIANA REGISTERED LAND SURVEYOR NO. 50458



CONSULTING ENGINEERS & LAND SURVEYING

LARRY R. LONG
AND ASSOCIATES, INC.

611 S. BUFFALO ST.
WARSAW, IN 46580
(219)269-8333

Larry R. Long, P.E., L.S.

PLAT OF SURVEY	
20' x 20' TRACT	
S.R. 13 AND C.R. 800 N	
TIPPECANOE TWP., KOS. CO., IN	
FOR: UNITED TELEPHONE CO.	
DATE: 9-8-94	PROJECT NO. 840188.00
CLASS OF SURVEY B	PAGE NO.
THEORETICAL UNCERTAINTY 0.25'	1 OF 1

PRELIMINARY TITLE TRACTS 2 - 4

Walker & Associates

Civil Engineering and Land Surveying
Jerry K. Walker, P.E. & L.S.
William D. Kyler, L.S.
112 West Van Buren St., Columbia City, IN 46725
Phone 244-3640

page 1 of 2

SURVEYOR'S REPORT

In accordance with Title 865 IAC 1-12 "Rule 12" of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties of the location of the lines and corners established on this survey as a result of: Availability and condition of referenced monuments, occupation or possession lines, clarity or ambiguity of the record description used, and/or adjoiner's descriptions, and the theoretical uncertainty of the measurements.

1. The Theoretical Uncertainty (due to random errors in measurement) of the corners of the subject tract established by this survey is within the specifications for a Class C Survey (± 0.50 feet) as defined in IAC 865.
2. For Variances, Discrepancies and Inconsistencies see plat of survey, description and Notes below.
3. This survey is subject to any facts and/or easements that may be disclosed by a full and accurate title search. The undersigned should be notified of any additions or revisions that are required.

4. For monuments found and set, See Survey. All pins set are #5 Rebars with caps marked "Walker". Origin of monuments unknown unless noted on survey.

5. The Northwest corner of the Northeast Fractional Quarter of said Section 3 is county referenced. A railroad spike was found at this corner.

The Northeast corner of said Northeast Fractional Quarter is county referenced. An iron pipe was found at this corner.

The Southeast corner of said Northeast Fractional Quarter is not county referenced. An iron pin was found at this corner.

The South line of the said Northeast Fractional Quarter was established from existing monuments found.

6. Other corners found at or near the exceptions from the original parcels are as shown on this survey and in the description.

7. The West lines of the surveyed tract were established by using the monuments found at the East corners of adjacent tracts to the West, see survey.

8. Reference surveys by Brower, dated 02-26-80, 07-27-84.

Reference survey by Retz, dated 08-08-79.

Reference survey by Kimpel, dated 09-28-88.

Reference surveys by Walker & Associates, dated 07-23-94, 06-03-97.

98-06-1862

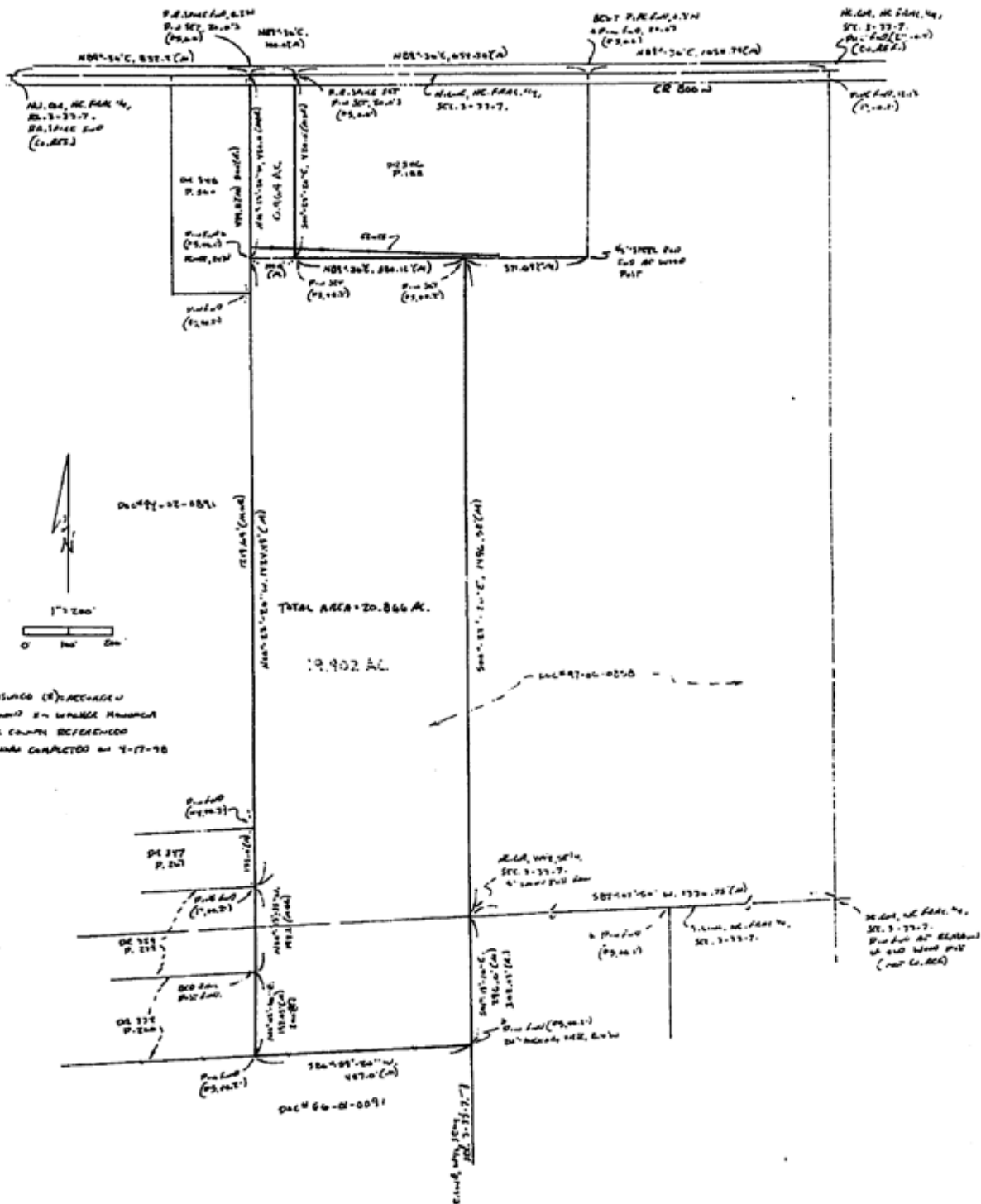
ALICE I. ANGLIN
RECORDER
KOSCIUSKO COUNTY.

2008 JUN 26 AM 10 07

Date: 05-01-98
Name: Herr, Phillip E.
Address:
Survey#: HW-170"A"

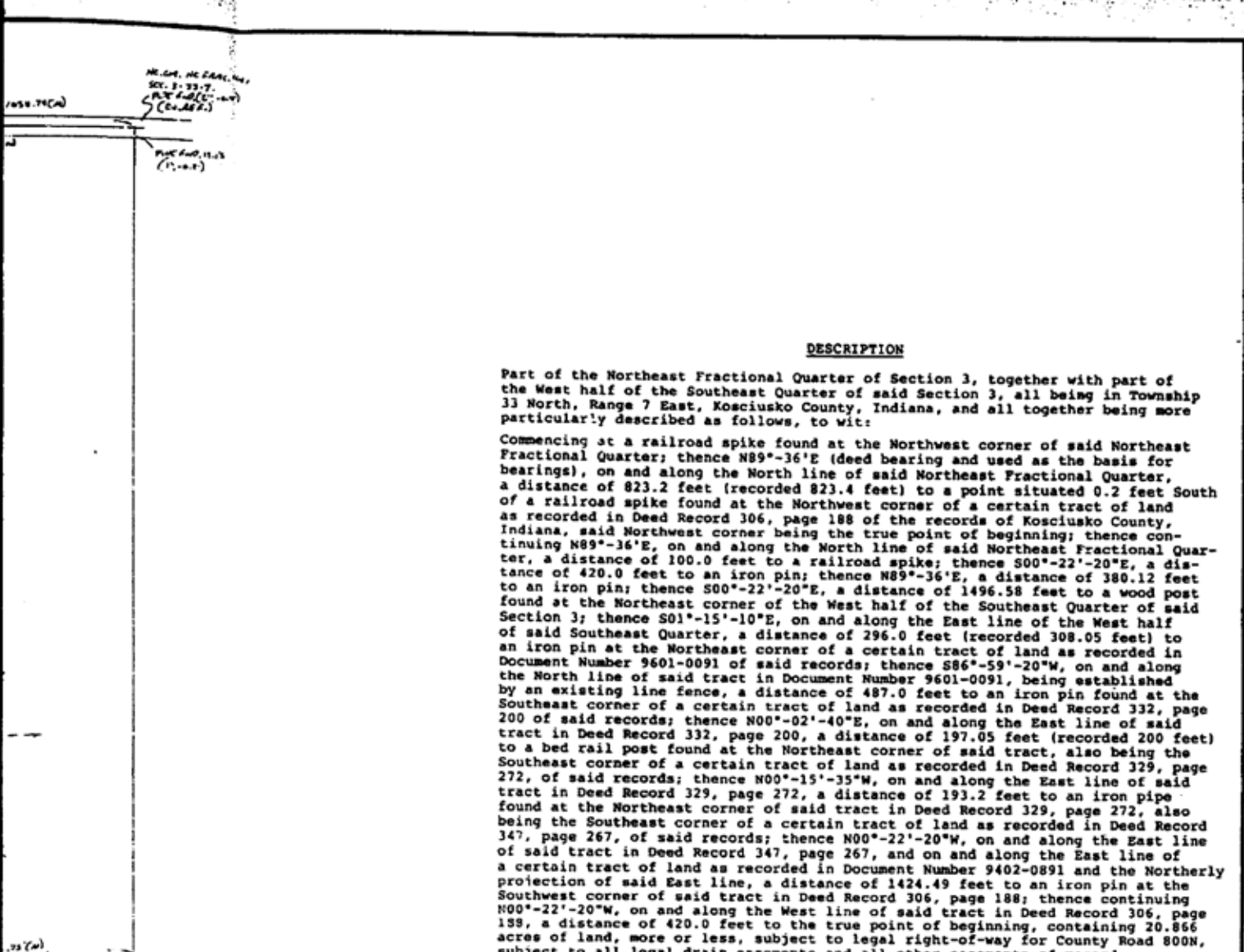


PRELIMINARY TITLE TRACTS 2 - 4



01 - MEASURED (X) - RECALCULATED
 FROM PLAT TO PLAT
 CHANGES IN DISTANCES
 FIELD WORK COMPLETED ON 7-17-78

PRELIMINARY TITLE TRACTS 2 - 4



DESCRIPTION

Part of the Northeast Fractional Quarter of Section 3, together with part of the West half of the Southeast Quarter of said Section 3, all being in Township 33 North, Range 7 East, Kosciusko County, Indiana, and all together being more particularly described as follows, to wit:

Commencing at a railroad spike found at the Northwest corner of said Northeast Fractional Quarter; thence N89°-36'E (deed bearing and used as the basis for bearings), on and along the North line of said Northeast Fractional Quarter, a distance of 823.2 feet (recorded 823.4 feet) to a point situated 0.2 feet South of a railroad spike found at the Northwest corner of a certain tract of land as recorded in Deed Record 306, page 188 of the records of Kosciusko County, Indiana, said Northwest corner being the true point of beginning; thence continuing N89°-36'E, on and along the North line of said Northeast Fractional Quarter, a distance of 100.0 feet to a railroad spike; thence S00°-22'-20"E, a distance of 420.0 feet to an iron pin; thence N89°-36'E, a distance of 380.12 feet to an iron pin; thence S00°-22'-20"E, a distance of 1496.58 feet to a wood post found at the Northeast corner of the West half of the Southeast Quarter of said Section 3; thence S01°-15'-10"E, on and along the East line of the West half of said Southeast Quarter, a distance of 296.0 feet (recorded 308.05 feet) to an iron pin at the Northeast corner of a certain tract of land as recorded in Document Number 9601-0091 of said records; thence S86°-59'-20"W, on and along the North line of said tract in Document Number 9601-0091, being established by an existing line fence, a distance of 487.0 feet to an iron pin found at the Southeast corner of a certain tract of land as recorded in Deed Record 332, page 200 of said records; thence N00°-02'-40"E, on and along the East line of said tract in Deed Record 332, page 200, a distance of 197.05 feet (recorded 200 feet) to a bed rail post found at the Northeast corner of said tract, also being the Southeast corner of a certain tract of land as recorded in Deed Record 329, page 272, of said records; thence N00°-15'-35"W, on and along the East line of said tract in Deed Record 329, page 272, a distance of 193.2 feet to an iron pipe found at the Northeast corner of said tract in Deed Record 329, page 272, also being the Southeast corner of a certain tract of land as recorded in Deed Record 347, page 267, of said records; thence N00°-22'-20"W, on and along the East line of said tract in Deed Record 347, page 267, and on and along the East line of a certain tract of land as recorded in Document Number 9402-0891 and the Northerly projection of said East line, a distance of 1424.49 feet to an iron pin at the Southwest corner of said tract in Deed Record 306, page 188; thence continuing N00°-22'-20"W, on and along the West line of said tract in Deed Record 306, page 188, a distance of 420.0 feet to the true point of beginning, containing 20.866 acres of land, more or less, subject to legal right-of-way for County Road 800N, subject to all legal drain easements and all other easements of record.

This property is not in a flood plain (In Zone C) as defined by Flood Insurance Rate Map for Kosciusko County, Indiana, Map Number 18085C-0045C, dated Feb. 4, 1987.

See page 1 of 2 for Surveyor's Report.

CERTIFICATE OF SURVEY

I, THE UNDERSIGNED REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, HEREBY CERTIFY THE HEREBY PLAT TO CORRECTLY REPRESENT A SURVEY AS MADE UNDER MY DIRECTION AND THAT THIS SURVEY AND ACCOMPANYING REPORT HAS BEEN COMPLETED IN ACCORDANCE WITH TITLE 865-IAC 1-12 AND ALL OTHER AMENDMENTS THERETO.



[Handwritten Signature]

PART OF THE E 1/2 OF SEC. 3, T33N, R7E, KOSCIUSKO COUNTY, I.O.		
SCALE 1" = 200'	APPROVED BY	DRAWN BY DJW
DATE 5-1-95		
PREP: HERR, PHILLIP C.		
BY: WALKER & ASSOCIATES 112 W. VAN BUREN ST., COLUMBIA CITY, IND.		DRAWING NUMBER HW-170 "A"



Property Photos



TRACT 1



TRACT 1



TRACT 1



TRACT 1



TRACTS 2 - 4



TRACTS 2 & 3



TRACTS 3 & 4



TRACTS 4



TRACT 4



TRACT 4





TRACT



TRACT 4





TRACT 4



TRACT 4





TRACT 4



TRACT 4





TRACT 4



TRACT 4



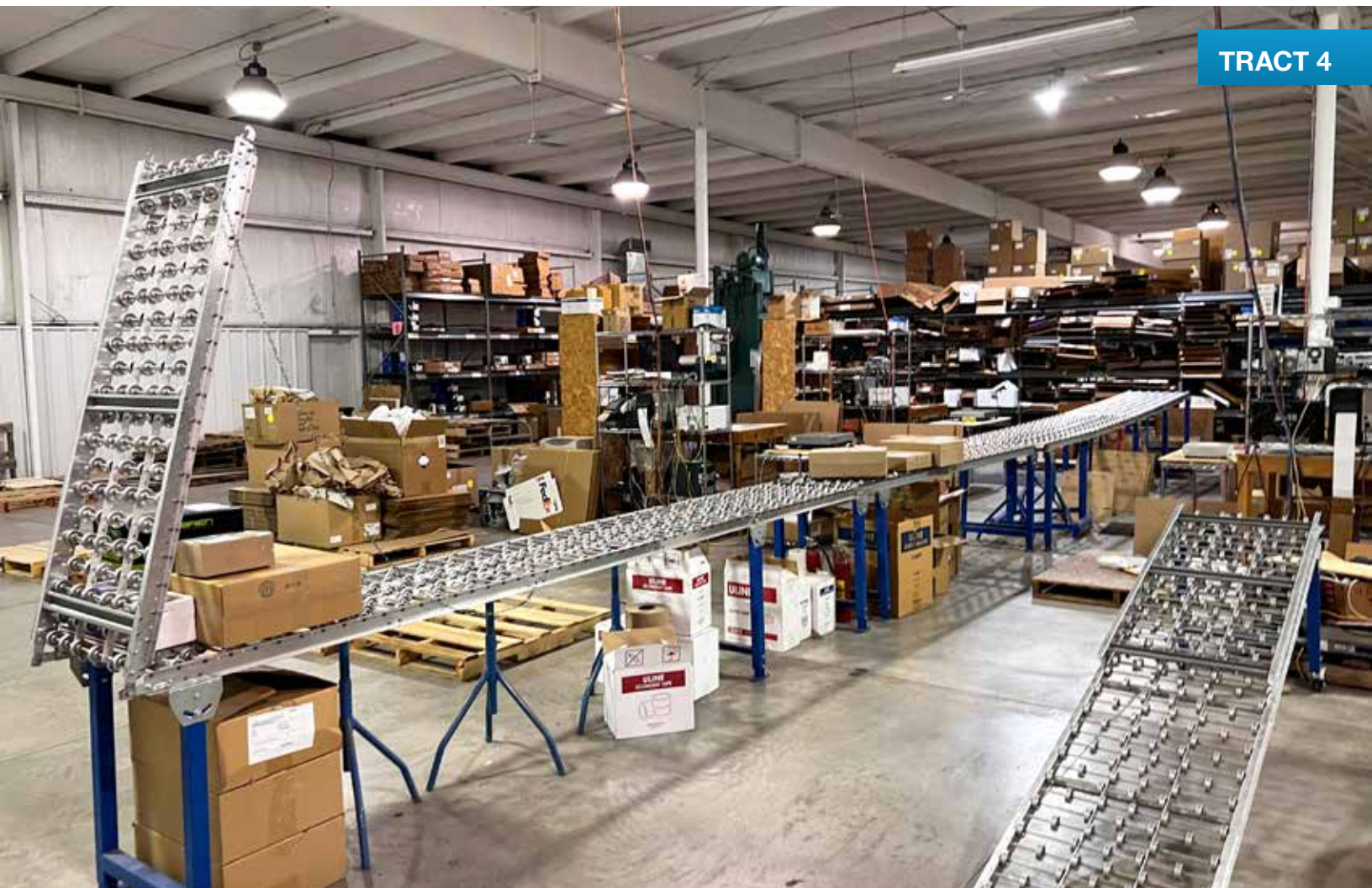


TRACT 4



TRACT 4





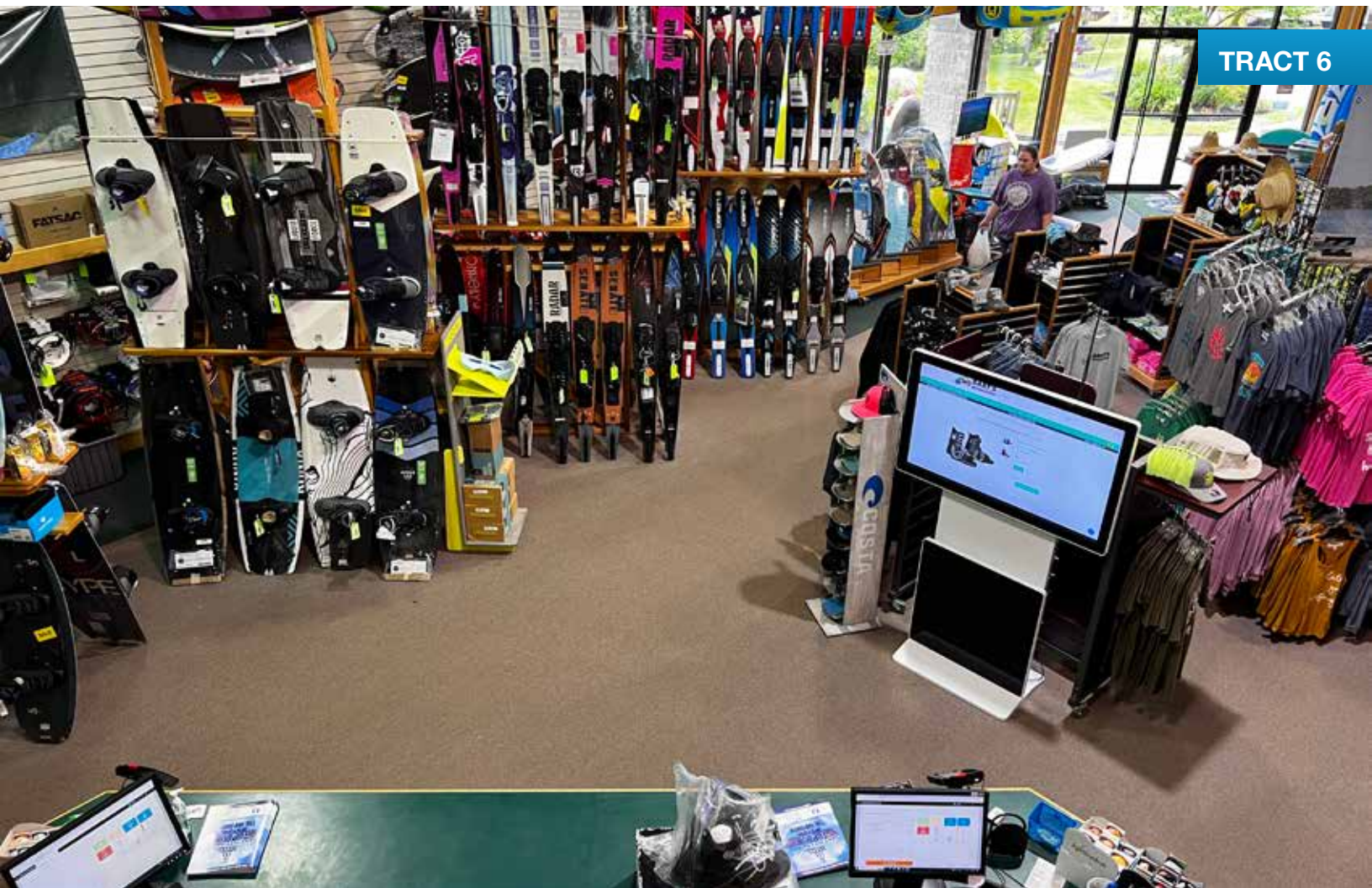
TRACT 6



TRACT 6









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